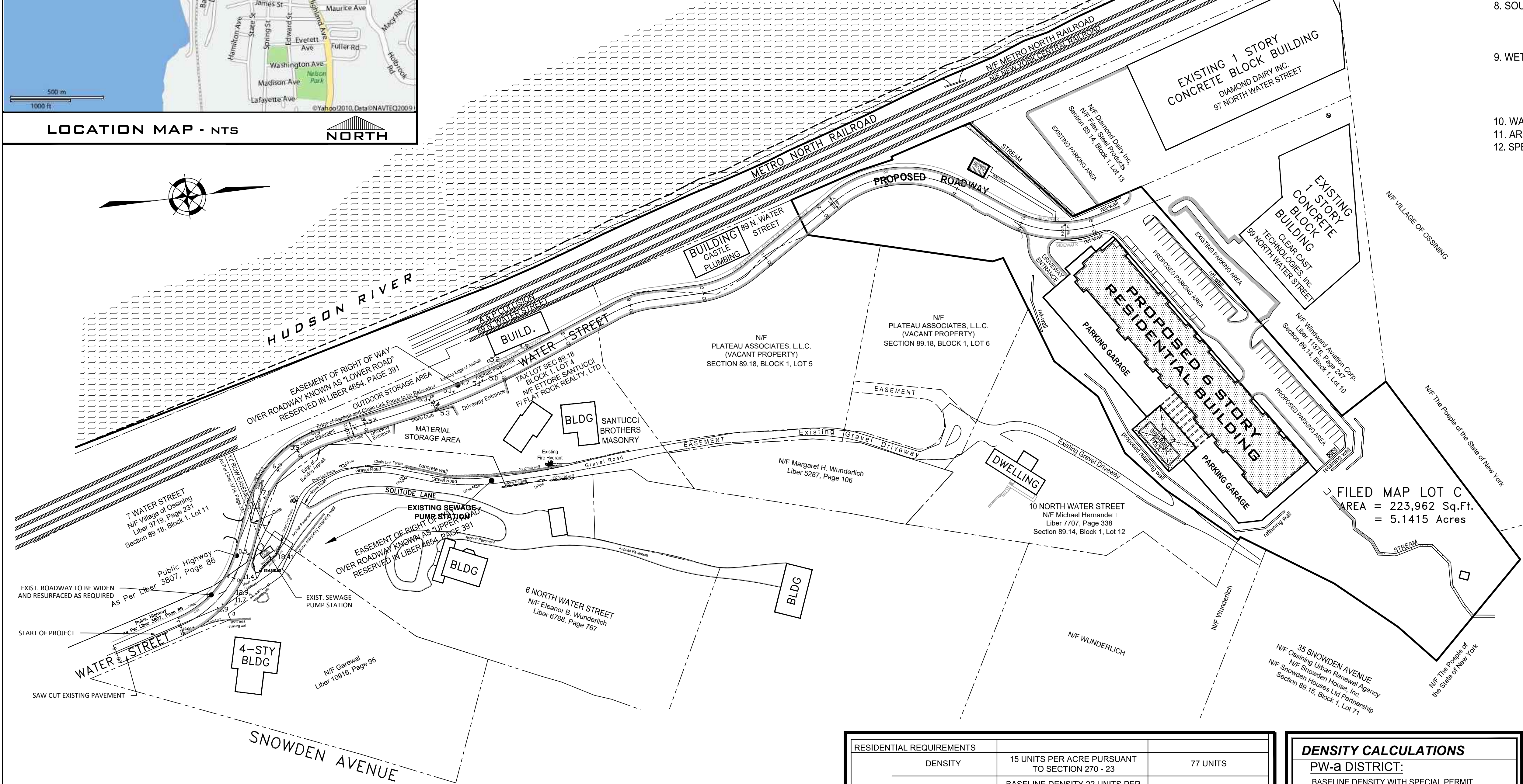




SITE PLAN DRAWINGS FOR HIDDEN COVE ON THE HUDSON



PROJECT INFORMATION DATA:

- MUNICIPALITY: VILLAGE OF OSSINING
- APPLICANT / OWNER:
PLATEAU ASSOCIATES, L.L.C. c/o Peter and Nick Stolatias
427 BEDFORD ROAD, SUITE 100
PLEASANTVILLE, NY 10570
- SITE LOCATION:
36 NORTH WATER STREET
OSSINING, NY 10562
- TAX MAP DESIGNATION:
SECTION: 89.14, BLOCK: 1, LOT: 11
- TOTAL COMBINED AREAS: 223,962 S.F. (5.1415 ACRES)
- ZONING DISTRICT: PW-a (NORTHERN WATERFRONT SUBDISTRICT)
- PREMISES HEREON BEING LOT C AS SHOWN ON A CERTAIN MAP ENTITLED:
"SUBDIVISION MAP PREPARED FOR FLEX STEEL PRODUCTS CO. INC."
SAID MAP FILED IN THE WESTCHESTER COUNTY CLERK'S OFFICE, DIVISION
OF LAND RECORDS, AUGUST 25, 1996, AS MAP NUMBER 25508.
- SOURCE OF SURVEY AND TOPOGRAPHIC INFORMATION:
THOMAS C. MERRITTS LAND SURVEYORS P.C.
394 BEDFORD ROAD
PLEASANTVILLE, NEW YORK 10570
- WETLAND SOIL FLAGGED ON MARCH 18, 2006 BY:
MICHAEL NOWICKI
ECOLOGICAL SOLUTIONS, LLC
1248 SOUTHFORD ROAD
SOUTHBURY, CT. 06488
- WATERSHED: HUDSON RIVER
- ARMY PERMIT APPLICATION FILE NUMBER: NAN-2013-00314-EYA
- SPECIAL DISTRICTS: OSSINING SEWER DISTRICT
OSSINING WATER DEPARTMENT
OSSINING SCHOOL DISTRICT
OSSINING FIRE DISTRICT

DRAWING LIST

TITLE	SHEET No.
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EXISTING EASEMENTS AND PROPOSED ROW - 2	5
EXISTING EASEMENTS AND PROPOSED ROW - 3	6
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UTILITY PROFILES	10
SITE PLAN GRADING	11
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STREETSCAPE PLAN (BLDG)	13
LIGHTING PLAN - 1	14
LIGHTING PLAN - 2	15
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OFF-SITE LAYOUT (STA 300-875)	17
OFF-SITE LAYOUT (STA 875-1500)	18
OFF-STE UTILITIES (STA 0-300)	19
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OFF-STE UTILITIES (STA 875-1500)	21
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OFF-SITE EROSION (STA 700-1400)	33
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DETAILS 1 OF 3	35
DETAILS 2 OF 3	36
DETAILS 3 OF 3	37

DEVELOPMENT TEAM:

ARCHITECT:
EDMUND VOGEL, AIA
100 CLEARBROOK RD
ELMSFORD, NY 10523

ENGINEERING:
PETRUCCELLI ENGINEERING
600 NORTH BROADWAY, SUITE 215
WHITE PLAINS, NY 10603

ROAD/TRAFFIC ENGINEER:
JOHN COLLINS ENGINEERS, P.C.
11 BRADHURST AVENUE
HAWTHORNE, NY 10532

SURVEYOR:
THOMAS C. MERRITTS
LAND SURVEYORS, P.C.
394 BEDFORD ROAD
PLEASANTVILLE, NY 10570

DEVELOPERS:
EPN REAL ESTATE SERVICES, INC.
427 BEDFORD ROAD, SUITE 100
PLEASANTVILLE, NY 10570

LEGAL:
ZARIN & STEINMETZ
81 MAIN ST. #415
WHITE PLAINS, NY 10601

PLANNING CONSULTANT:
VHB ENGINEERING, SURVEYING AND
LANDSCAPE ARCHITECTURE, P.C.
50 MAIN STREET
SUITE 360
WHITE PLAINS, NY 10606

WETLANDS:
ECOLOGICAL SOLUTIONS
1248 SOUTHFORD ROAD
SOUTHBURY, CT. 06488

PW-a BULK REQUIREMENTS TABLE (NORTHERN WATERFRONT SUBDISTRICT)

ITEM	REQUIRED	PROVIDED
SETBACKS		
MINIMUM LOT AREA	3 ACRES (FOR SPECIAL PERMIT)	223,962 (5.1415 AC.)
BUILDING WIDTH AND OPEN AREA (ft.)	SHALL BE IN ACCORDANCE WITH SEC. 270-23 (196 FT.)	186 FT.
NO BUILDING OR PART THEREOF SHALL BE SITUATED WITHIN: MINIMUM SETBACK FOR PARKING OR LOADING AREAS FROM STREET OR LOT LINE (ft.)	20 ft. OF ANY STREET OR 15 ft. OF ANY LOT LINE	19.4 FT.
MINIMUM SETBACK FROM STREET OR LOT LINE (ft.)	10 FT.	± 13 FT.
MINIMUM DISTANCE BETWEEN ANY TWO BUILDINGS EXCEPT ATTACHED DWELLINGS SHARING A PARTYWALL (ft.)	30 FT.	187.7 FT.

RESIDENTIAL REQUIREMENTS		
DENSITY	15 UNITS PER ACRE PURSUANT TO SECTION 270 - 23	77 UNITS
DENSITY: SPECIAL PERMIT APPLICATION	BASELINE DENSITY 22 UNITS PER ACRE UP TO 32 DWELLING UNITS PER ACRE PURSUANT TO SEC 270-23	137 UNITS
BEDROOM MIX	1-BEDROOM UNITS OR STUDIOS MIN. 10% OF TOTAL UNITS 2 - BEDROOM UNITS MIN. 20% OF TOTAL UNITS	1 BEDROOM - 34 UNITS (25%) 2 BEDROOM - 103 UNITS (75%) TOTAL = 137 UNITS
HEIGHTS		
MAXIMUM BUILDING HEIGHT (STORIES / ft.) WHICHEVER IS LESS	6.0 / 72	6.0 / 69.4
COVERAGE		
MAXIMUM IMPERVIOUS COVERAGE (PERCENT)	60	44.4
MAXIMUM BUILDING COVERAGE (PERCENT)	40	27.0
OPEN SPACE		
MINIMUM OPEN SPACE	15 PERCENT OF LOT AREA (0.77 AC)	1.4 AC
PARKING REQUIREMENTS		
MINIMUM SPACES	1 SPACE FOR AN EFFICIENCY OR STUDIOS; 1 SPACE FOR UNITS WITH 1 BEDROOM; 1.5 SPACE FOR UNITS WITH 2 OR MORE BEDROOMS	34 @ 1 = 34 SPACES 103 @ 1.5 = 154.5 SPACES REQUIRED = 189 SPACES PROVIDED = 193 SPACES

DENSITY CALCULATIONS

PW-a DISTRICT:

BASELINE DENSITY WITH SPECIAL PERMIT APPLICATION = 22 UNITS PER ACRE UP TO 32 DWELLING UNITS PER ACRE PURSUANT TO SECTION 270-23.

5.175 ACRES x 26.62 DWELLING UNITS PER ACRE = 137.75 UNITS (137 UNITS) (WITH DENSITY BONUS *)

SPECIAL PERMIT REQUIRED IN THE PW-a DISTRICT FOR DENSITY IN EXCESS OF 15 UNITS PER ACRE.

* WITH DENSITY BONUS FOR PROVISION OF:
USE OF GREEN BUILDING TECHNIQUES;
AND AFFORDABLE HOUSING

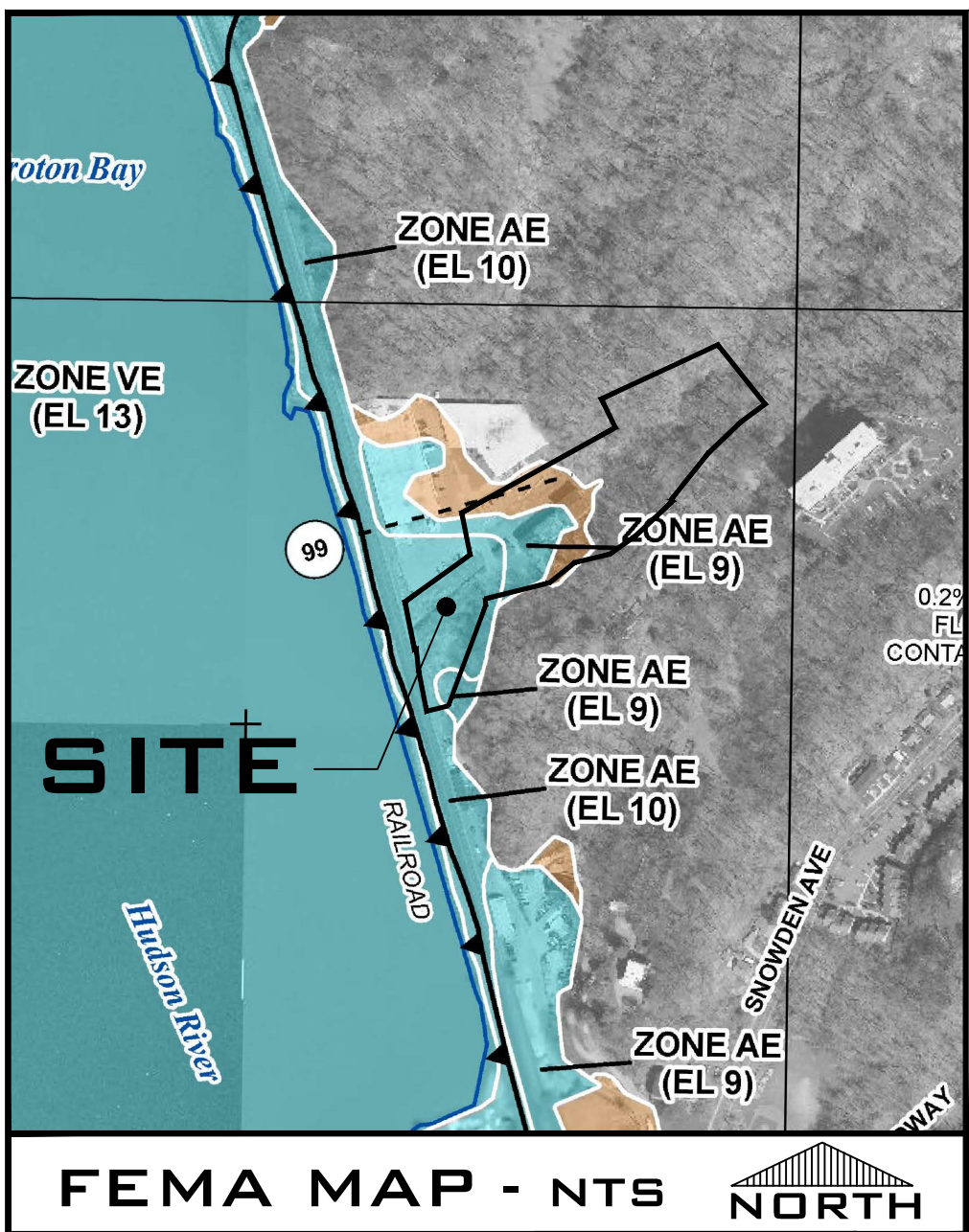
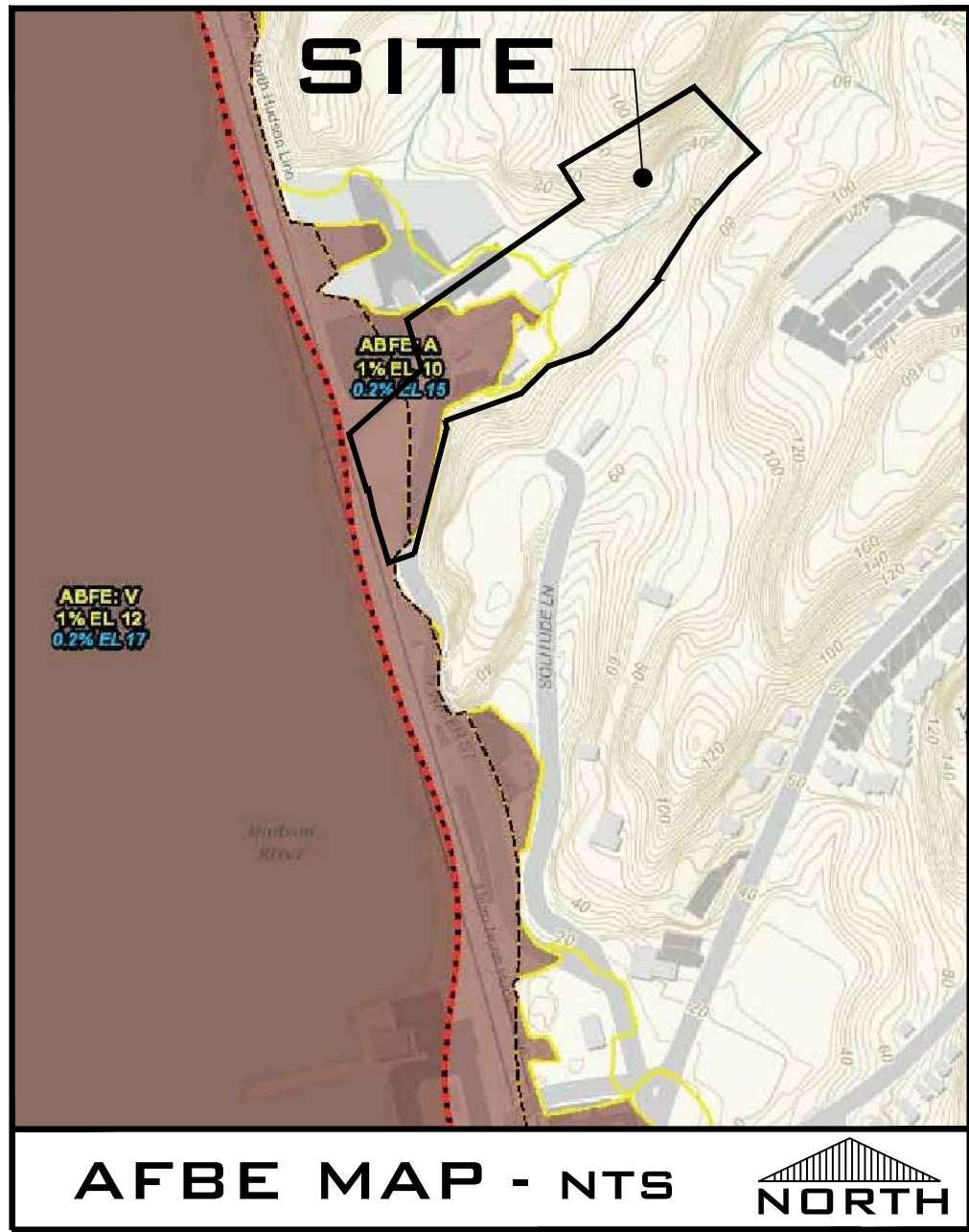
NOTES:

- CONDITIONAL USE PERMIT REQUIRED FROM THE PLANNING BOARD TO ALLOW FOR THE CONSTRUCTION OF MULTIPLE DWELLING UNITS.
- SPECIAL PERMIT REQUIRED IN THE PW-a DISTRICT FOR DENSITY IN EXCESS OF 15 UNITS PER ACRE.
- AVERAGE FINISHED GRADE ELEVATION = 20.6
- PROPOSED 166 PARKING SPACES LOCATED INSIDE AND 27 PARKING SPACES LOCATED OUTSIDE
- PROPOSED 10 HANDI CAP SPACES AND 183 STANDARD CAR SPACES PROVIDED

NOTE: UNAUTHORIZED ALTERATIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.

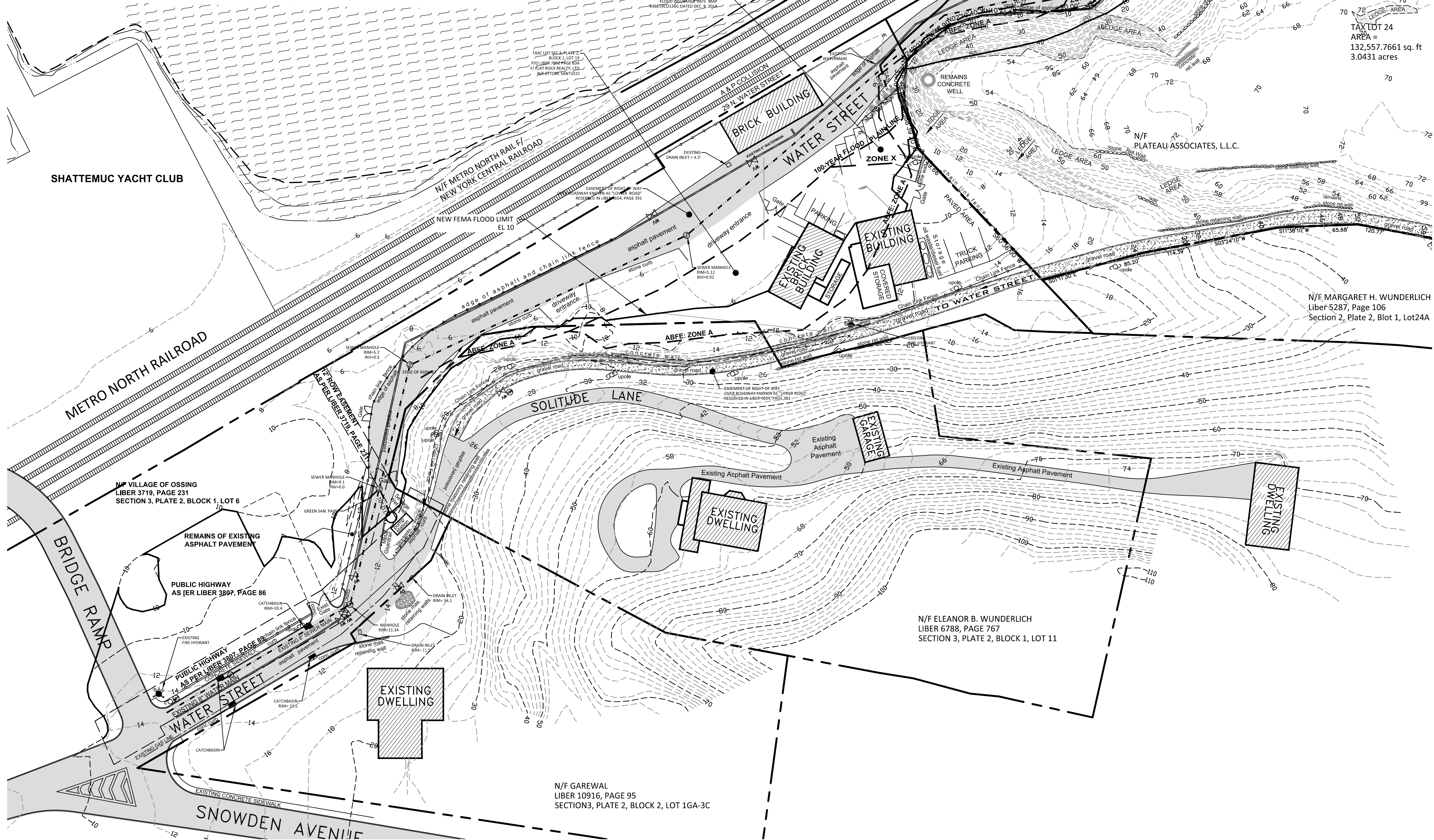
NOTE: THIS PLAN IS NULL AND VOID UNLESS IT BEARS THE ORIGINAL SEAL AND SIGNATURE OF THE ENGINEER.

JOB NO.	2001	DATE	04.09.18	SCALE	AS NOTED	CHECKED BY:	P.B.
REVISIONS							
02.09.07	02.13.17	01.12.07	02.31.17	10.31.08	04.09.18	10.17.12	05.07.18
03.25.13	07.10.13						
600 NORTH BROADWAY WHITE PLAINS, N.Y. 10603 9 1 4 . 9 4 8 . 3 6 2 9 PAUL BERGE, P.E.							
PETRUCCELLI ENGINEERING							
STATE OF NEW YORK PAUL A. BERGER 071859 PROFESSIONAL ENGINEER							
TITLE SHEET AREA PLAN HIDDEN COVE ON THE HUDSON CENTER ROAD PLAN SET 36 NORTH WATER STREET VILLAGE OF OSSINING NEW YORK							
SHEET NO. 1 37							



SPECIAL ABFE NOTE:
THE LOCATION AND ELEVATION OF THE ADVISORY FLOOD BOUNDARY LINES WERE TAKEN FROM THE POST-HURRICANE SANDY ADVISORY BASE FLOOD ELEVATIONS MAP PROVIDED BY FEMA LAST MODIFIED IN DECEMBER 2014.

SPECIAL FLOODPLAIN NOTE:
THE LOCATION AND ELEVATION OF THE FLOODPLAIN BOUNDARY LINE WAS TAKEN FROM THE FEMA FLOOD INSURANCE RATE MAP # 36119CO136G REVISED (PRELIMINARY) DECEMBER 8, 2014



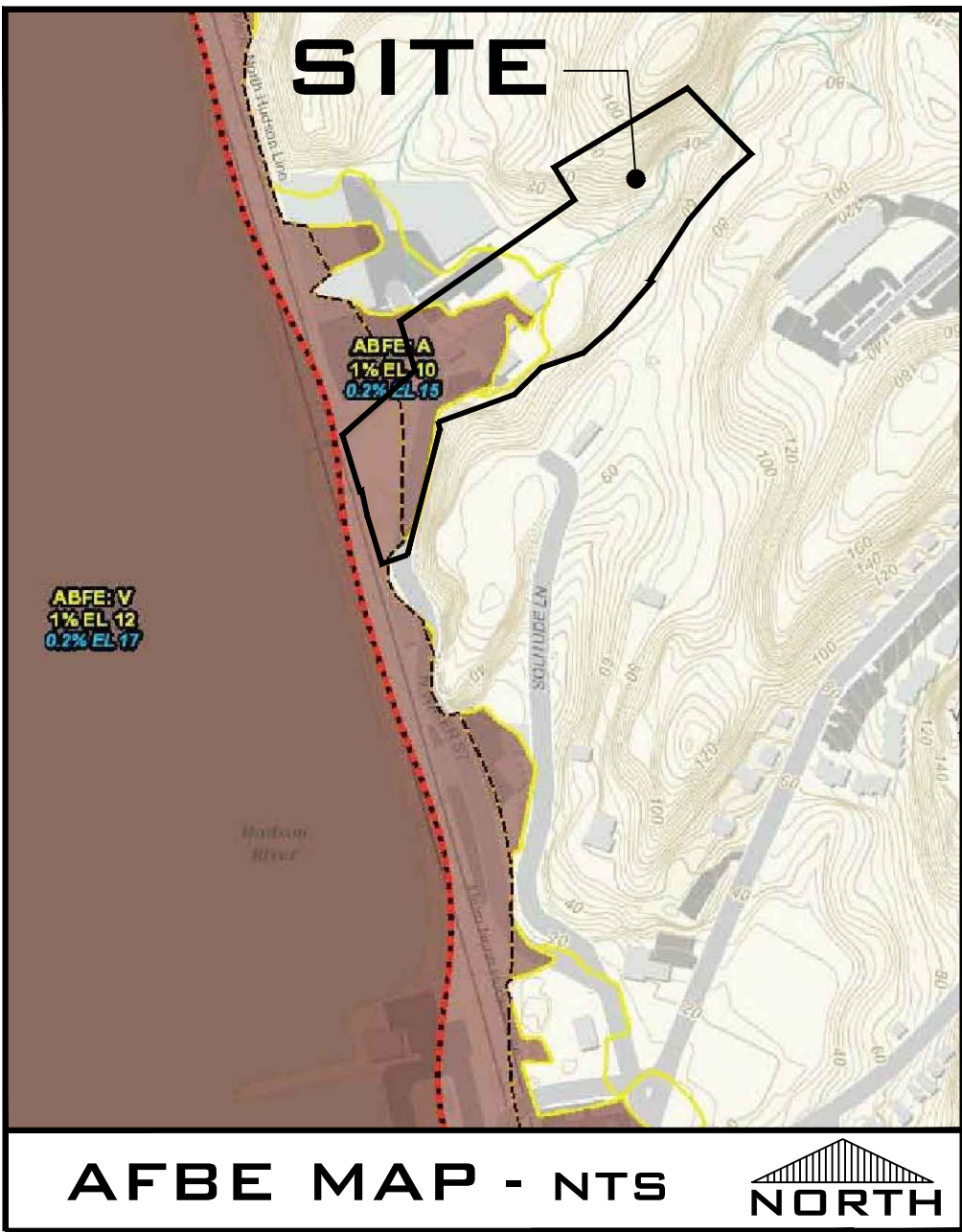
HUDSON RIVER FLOOD PLAIN CALCULATION
Existing:
Flood Volume provided below elevation 10 within disturbance limit:
14,798 cubic yards
Proposed:
Flood Volume provided below elevation 10 within disturbance limit:
5,164 cubic yards
Volume removed from Hudson River flood elevation: 9,634 cubic yards
Average width of Hudson river adjacent to property: 2 miles (10,560ft)
Approximate Shoreline length adjacent to property: 1,500 feet
Area of Hudson River that needs to be raised to influence FEMA flood elevations: (10,560ft)(1500ft)= 15,840,000 sf
Flood elevation raised by filling 9,634 cubic yards:
(9634*27)/15,840,000 = .016 ft
Flood elevation will be raised by 0.016 feet or 0.192 inches

LEGEND	
	EXISTING CONTOUR
	EXISTING SPOT ELEVATION
	FLAGGED WETLAND LINE
	TREE WITH TRUNK DIAMETER
	EXISTING UTILITY POLE
	EXISTING FIRE HYDRANT
	EXISTING DRAINAGE MANHOLE
	CATCH BASIN
	EXISTING DRAINAGE PIPE
	WATER VALVE
	8" WATER MAIN
	GAS LINE
	SANITARY SEWER PIPE
	EXISTING SEWER MANHOLE
	100 YR. FLOOD BOUNDARY LINE
	ADVISORY BASE FLOOD ELEVATION

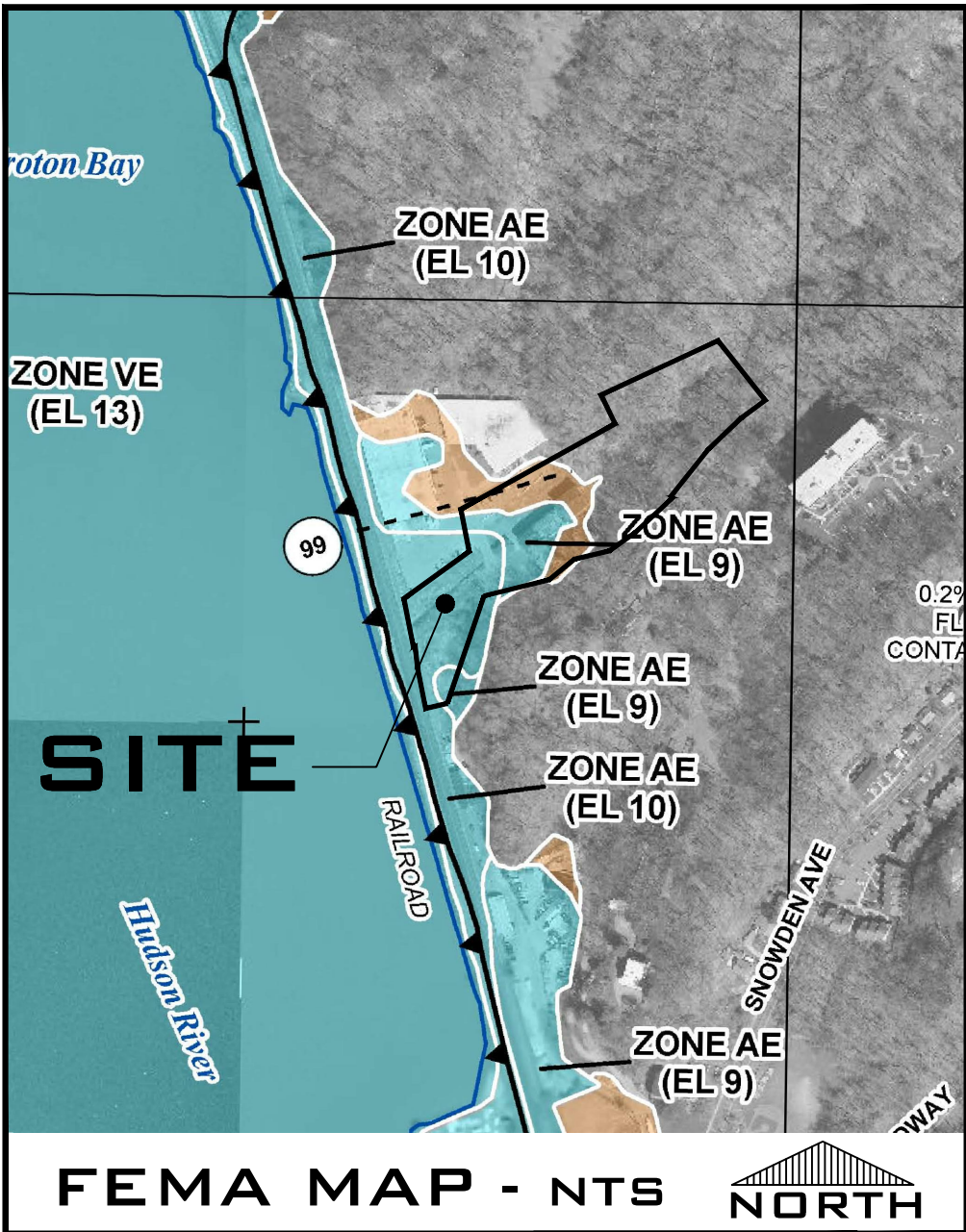
JOB NO.	2001
DATE	04-09-18
SCALE	1"=50'-0"
DRAWN BY	SB
CHECKED BY	P.B.

REVISIONS	08.03.18
PETRUCCELLI ENGINEERING 600 NORTH BROADWAY, SUITE 215 WHITE PLAINS, N.Y. 10603 9 1 4 . 9 4 8 . 3 6 2 9 PAUL BERTÉ, P.E.	

EXISTING CONDITIONS-1	PLATEAU ASSOCIATES HIDDEN COVE ON THE HUDSON 36 NORTH WATER STREET VILLAGE OF OSSINING NEW YORK
SHEET NO. 2 / 37	



SPECIAL ABFE NOTE:
THE LOCATION AND ELEVATION OF THE ADVISORY FLOOD BOUNDARY LINES WERE TAKEN FROM THE POST-HURRICANE SANDY ADVISORY BASE FLOOD ELEVATIONS MAP PROVIDED BY FEMA LAST MODIFIED IN DECEMBER 2014.



SPECIAL FLOODPLAIN NOTE:
THE LOCATION AND ELEVATION OF THE FLOODPLAIN BOUNDARY LINE WAS TAKEN FROM THE FEMA FLOOD INSURANCE RATE MAP # 36119C0136G REVISED (PRELIMINARY) DECEMBER 8, 2014



SPECIAL MILL BUILDING NOTE:
ALL DEPICTIONS OF THE PREVIOUSLY DEMOLISHED BRICK BUILDING IN THESE ENGINEERING DRAWINGS ARE FOR HISTORICAL REFERENCE ONLY. THE PRIOR REMOVAL OF THIS BUILDING DOES NOT CHANGE THE PROPOSAL NOR REQUIRE ANY SUBSEQUENT ENVIRONMENTAL, ZONING OR CODE ANALYSIS.

LEGEND	
10	EXISTING CONTOUR
10.9	EXISTING SPOT ELEVATION
VL AID	FLAGGED WETLAND LINE
12" OAK	TREE WITH TRUNK DIAMETER
EXISTING UTILITY POLE	EXISTING UTILITY POLE
EXISTING FIRE HYDRANT	EXISTING FIRE HYDRANT
EXISTING DRAINAGE MANHOLE	EXISTING DRAINAGE MANHOLE
CATCH BASIN	CATCH BASIN
EXISTING DRAINAGE PIPE	EXISTING DRAINAGE PIPE
WATER VALVE	WATER VALVE
8" WATER MAIN	8" WATER MAIN
GAS LINE	GAS LINE
SANITARY SEWER PIPE	SANITARY SEWER PIPE
EXISTING SEWER MANHOLE	EXISTING SEWER MANHOLE
100 YR. FLOOD BOUNDARY LINE	100 YR. FLOOD BOUNDARY LINE
ADVISORY BASE FLOOD ELEVATION	ADVISORY BASE FLOOD ELEVATION

HUDSON RIVER FLOOD PLAIN CALCULATION

Existing:
Flood Volume provided below elevation 10 within disturbance limit:
14,798 cubic yards

Proposed:
Flood Volume provided below elevation 10 within disturbance limit:
5,164 cubic yards

Volume removed from Hudson River flood elevation: 9,634 cubic yards

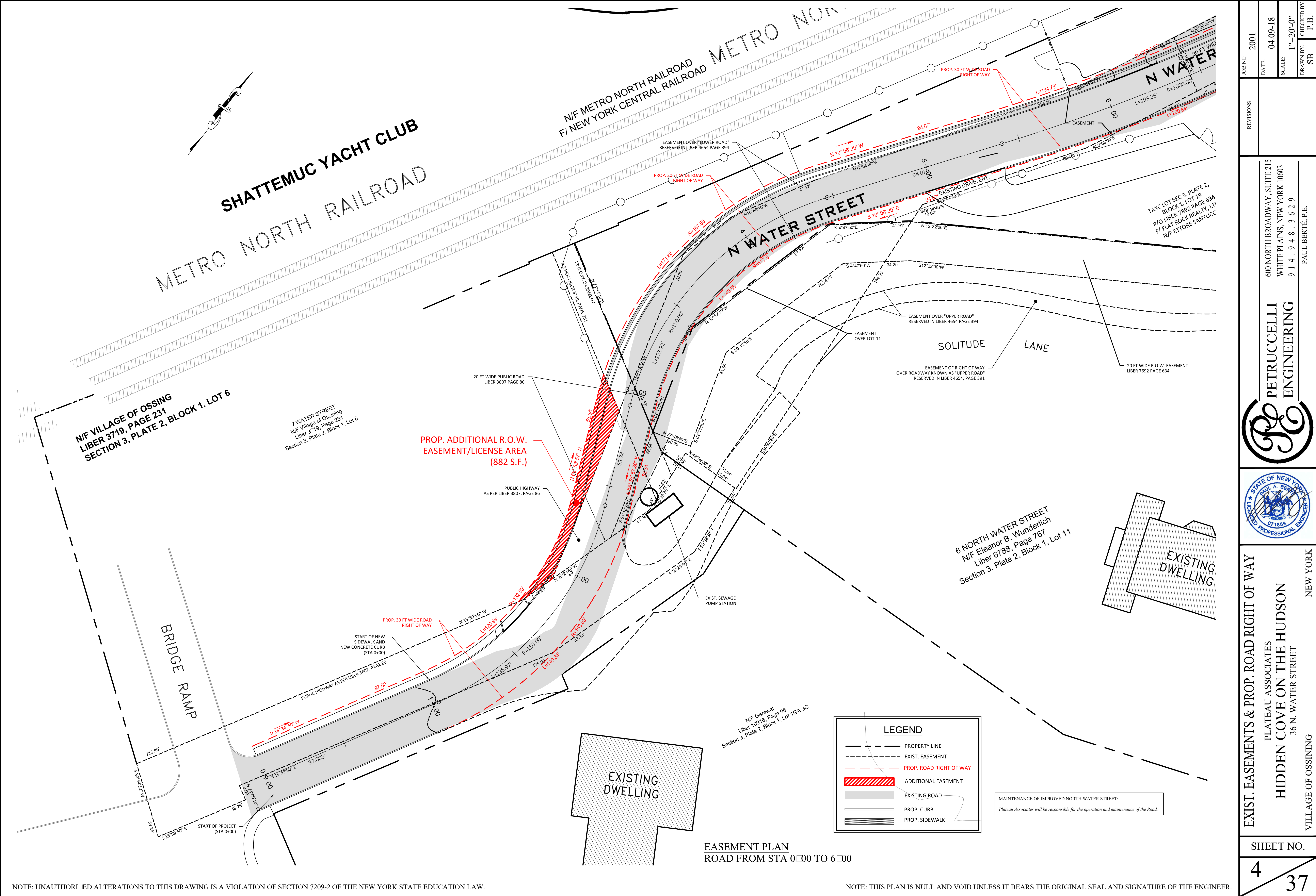
Average width of Hudson river adjacent to property: 2 miles (10,560ft)
Approximate Shoreline length adjacent to property: 1,500 feet

Area of Hudson River that needs to be raised to influence FEMA flood elevations: (10,560ft)(1500ft)= 15,840,000 sf

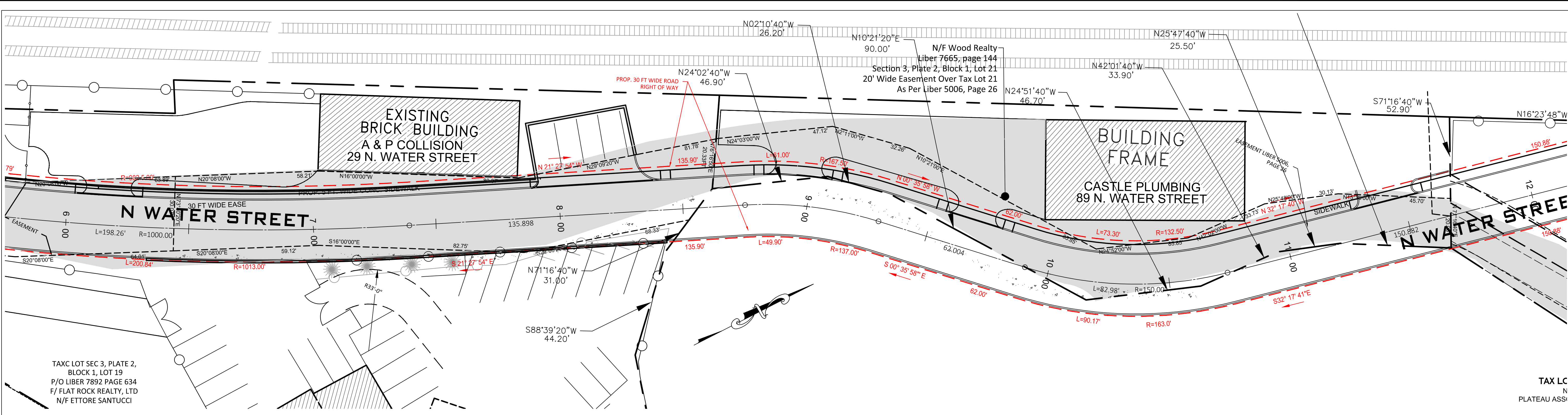
Flood elevation raised by filling 9,634 cubic yards:
(9634*27)/15,840,000 = .016 ft

Flood elevation will be raised by 0.016 feet or 0.192 inches

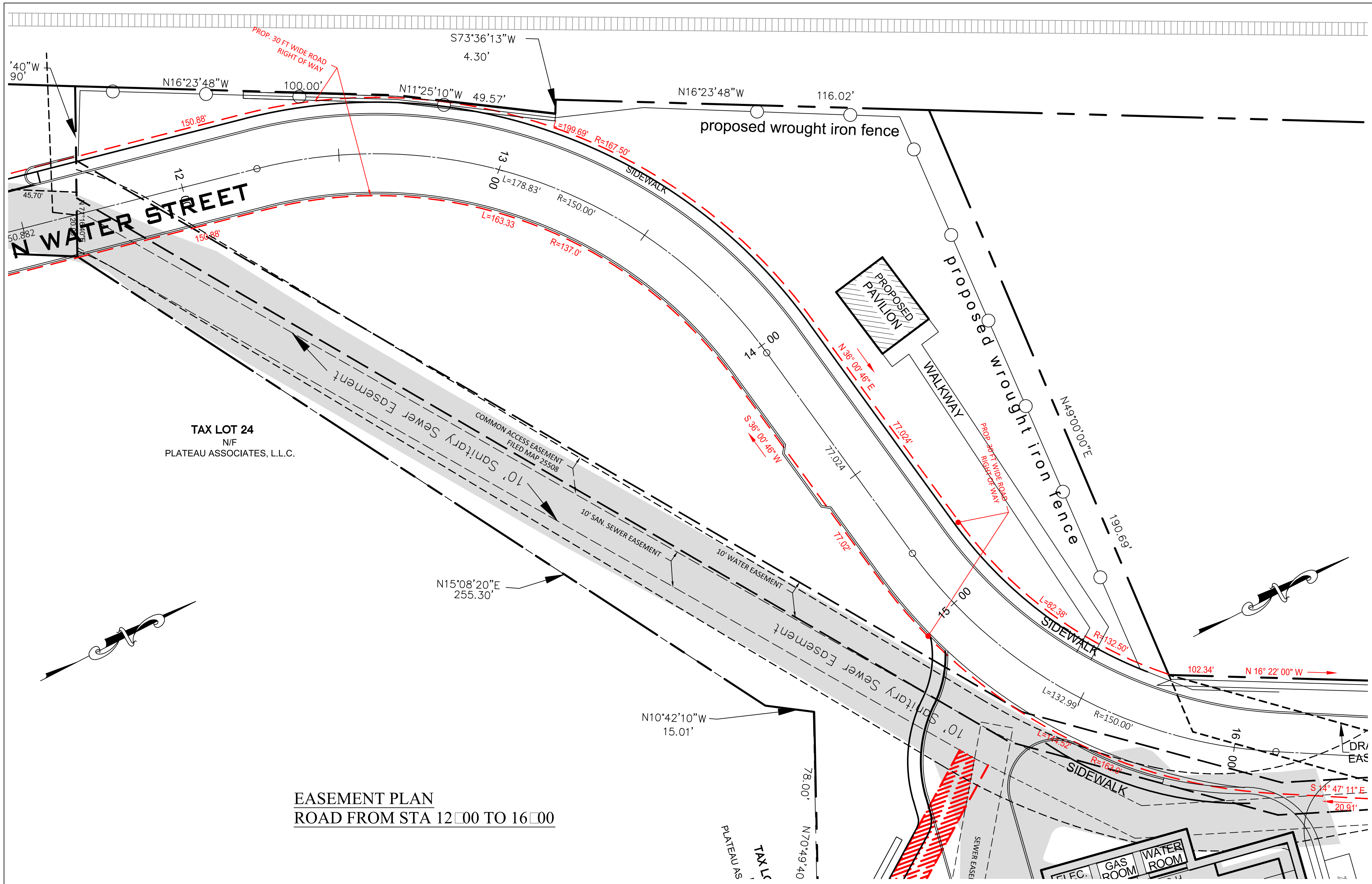
JOB NO.	2001	REVISIONS	08.03.18
DATE:	04-09-18		
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DRAWN BY:	SB	CHECKED BY:	P.B.
PETRUCCELLI 600 NORTH BROADWAY, SUITE 215 WHITE PLAINS, N.Y. 10603 ENGINEERING 914.948.3629 PAUL BERGE, P.E.			
EXISTING CONDITIONS-2 PLATEAU ASSOCIATES HIDDEN COVE ON THE HUDSON 36 NORTH WATER STREET VILLAGE OF OSSING NEW YORK			
SHEET NO.			
3 / 37			



REVISIONS	JOB N°:	2001
	DATE:	04.09.18
CHECKED BY:	SCALE:	1"=20'-0"
	DRAWN BY:	SB
P.B.		
PETRUCCELLI ENGINEERING		
600 NORTH BROADWAY, SUITE 215 WHITE PLAINS, NEW YORK 10603 914.948.3629 PAUL BERTÉ, P.E.		
STATE OF NEW YORK PAUL A. BERTÉ 071859 REGISTERED PROFESSIONAL ENGINEER		
EXIST. EASEMENTS & PROP. ROAD RIGHT OF WAY PLATEAU ASSOCIATES HIDDEN COVE ON THE HUDSON 36 N. WATER STREET VILLAGE OF OSSING NEW YORK		
SHEET NO. 4 / 37		



EASEMENT PLAN
ROAD FROM STA 6+00 TO 12+00



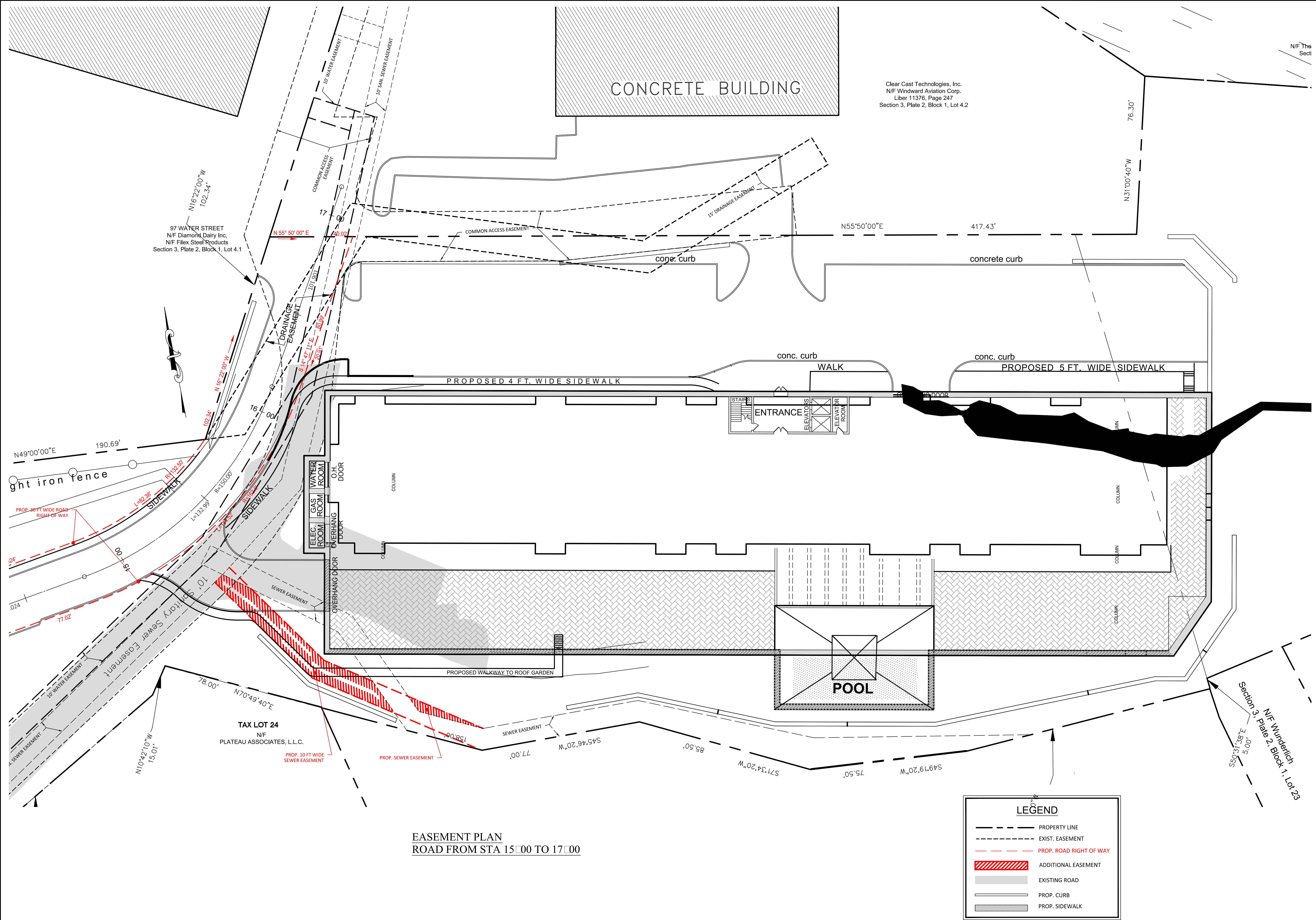
EASEMENT PLAN
ROAD FROM STA 12+00 TO 16+00

LEGEND	
	PROPERTY LINE
	EXIST. EASEMENT
	PROP. ROAD RIGHT OF WAY
	ADDITIONAL EASEMENT
	EXISTING ROAD
	PROP. CURB
	PROP. SIDEWALK

NOTE: UNAUTHORIZED ALTERATIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.

NOTE: THIS PLAN IS NULL AND VOID UNLESS IT BEARS THE ORIGINAL SEAL AND SIGNATURE OF THE ENGINEER.

JOB NO. 2001	DATE 04.09.18	SCALE 1"=20'-0"	CHECKED BY: P.B.
REVISIONS	05.07.18		
600 NORTH BROADWAY, SUITE 215 WHITE PLAINS, NEW YORK 10603 914.948.3629 PAUL BERTÉ, P.E.			
PETRUCCELLI ENGINEERING			
EXIST. EASEMENTS & PROP. ROAD RIGHT OF WAY			
PLATEAU ASSOCIATES HIDDEN COVE ON THE HUDSON 36 N. WATER STREET VILLAGE OF OSSINING NEW YORK			
SHEET NO. 5 37			



EASEMENT PLAN
ROAD FROM STA 15+00 TO 17+00

LEGEND

- PROPERTY LINE
- EXIST. EASEMENT
- PROP. ROAD RIGHT OF WAY
- ADDITIONAL EASEMENT
- EXISTING ROAD
- PROP. CURB
- PROP. SIDEWALK

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DATE:	04.09.18		
SCALE:	1"=20'-0"		
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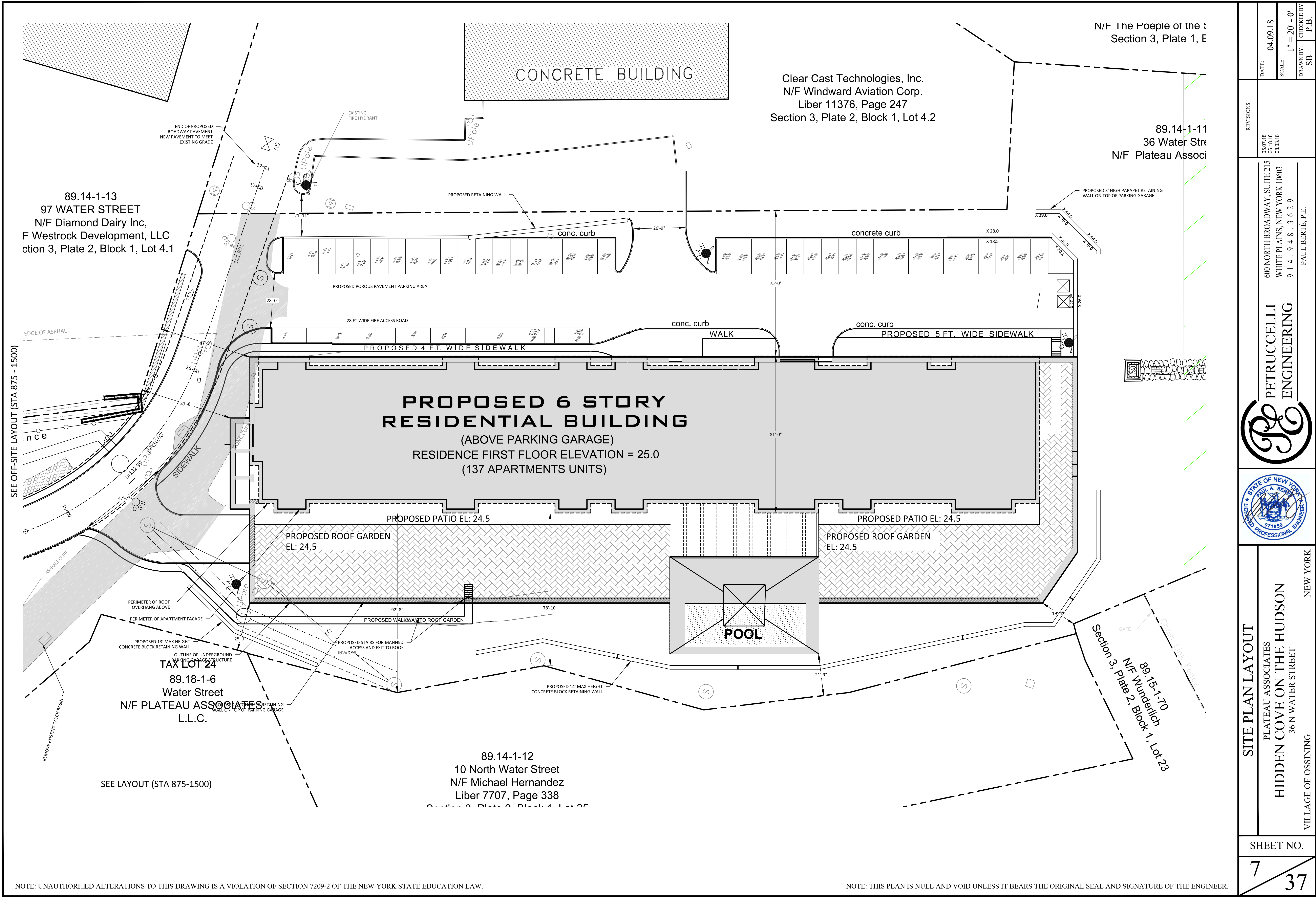
600 NORTH BROADWAY, SUITE 215
WHITE PLAINS, NEW YORK 10603
914.948.3629
PAUL BERTÉ, P.E.

PETRUCCELLI
ENGINEERING

EDWIN A. BERTE
STATE OF NEW YORK
PROFESSIONAL ENGINEER
071859

EXIST. EASEMENTS & PROP. ROAD RIGHT OF WAY
PLATEAU ASSOCIATES
HIDDEN COVE ON THE HUDSON
36 N. WATER STREET
VILLAGE OF OSSINING
NEW YORK

SHEET NO.
6 / 35



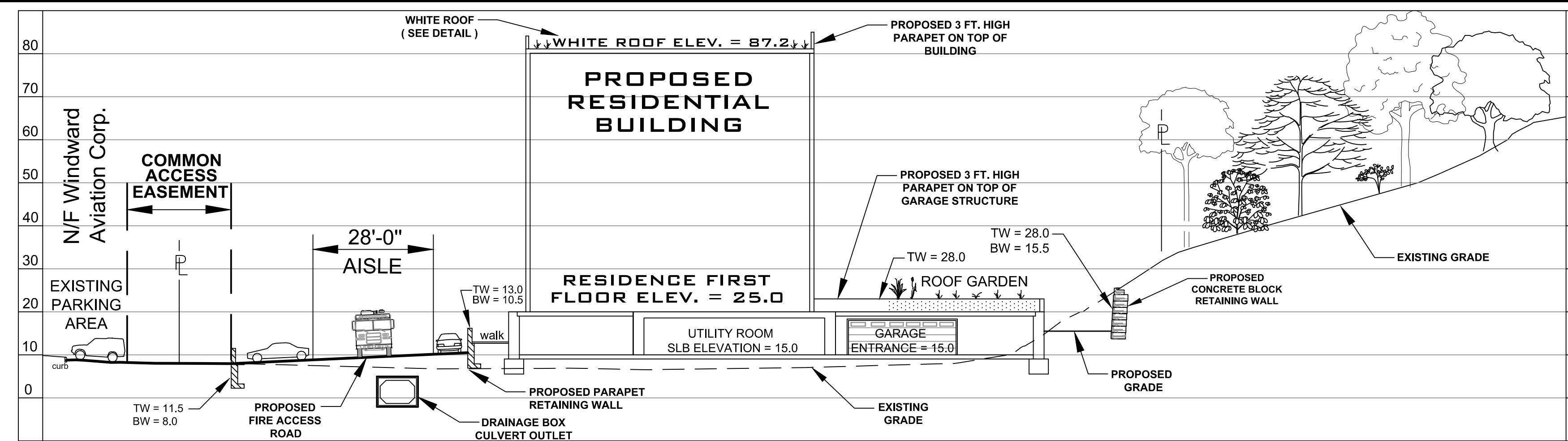
SEE OFF-SITE LAYOUT (STA 875 - 1500)

SEE LAYOUT (STA 875-1500)

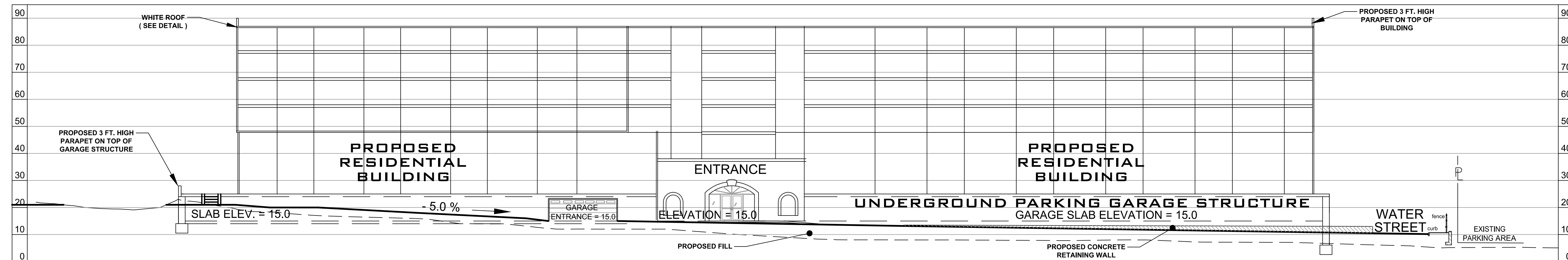
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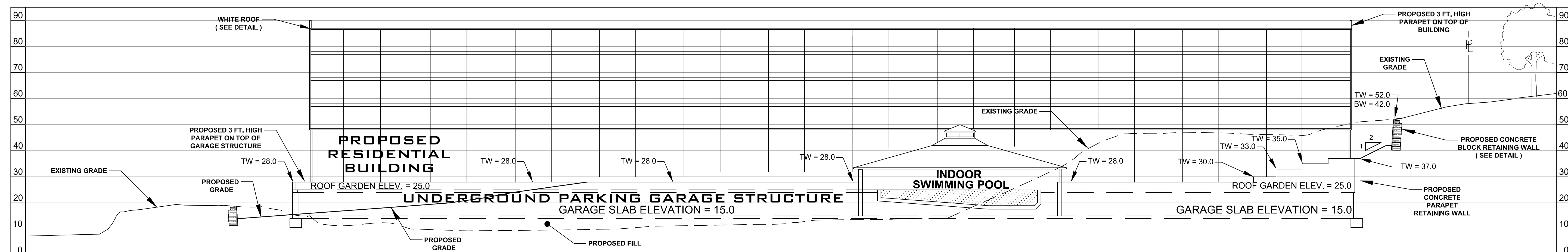
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REVISIONS							
05.07.18 06.18.18 08.03.18							
600 NORTH BROADWAY, SUITE 215 WHITE PLAINS, NEW YORK 10603 9 1 4 . 9 4 8 . 3 6 2 9 PAUL BERTÉ, P.E.							
PETRUCCELLI ENGINEERING							
STATE OF NEW YORK PAUL A. BERTÉ 071859 REGISTERED PROFESSIONAL ENGINEER							
SITE PLAN LAYOUT PLATEAU ASSOCIATES HIDDEN COVE ON THE HUDSON 36 N WATER STREET VILLAGE OF OSSINING NEW YORK							
SHEET NO. 7 / 37							



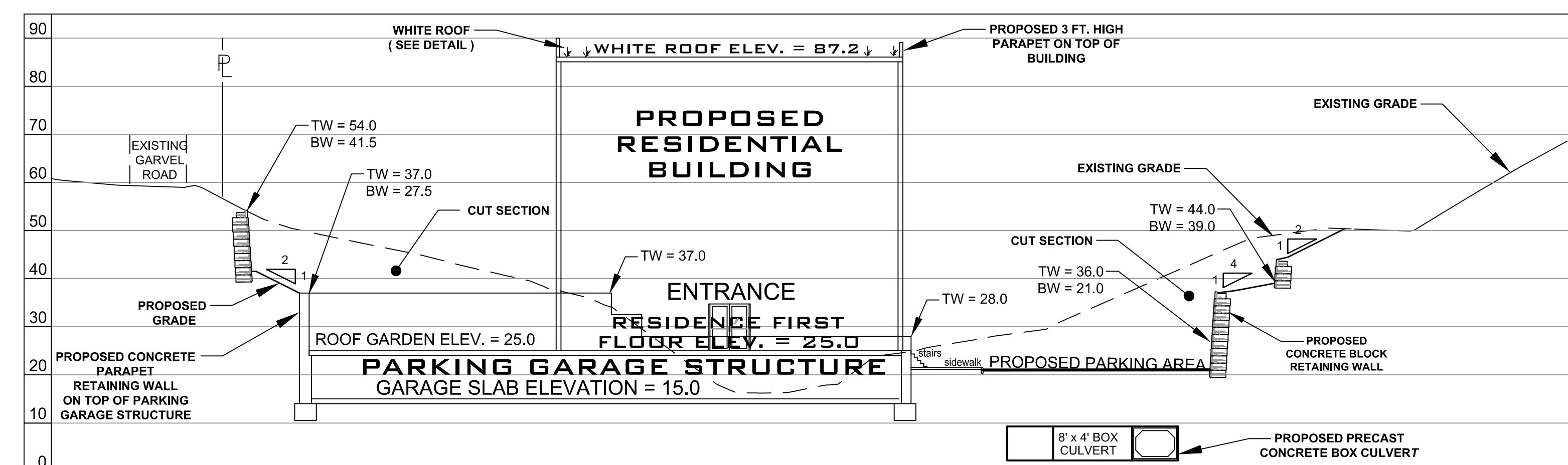
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SCALE: 1" = 20 FT., VERTICAL AND HORIZONTAL

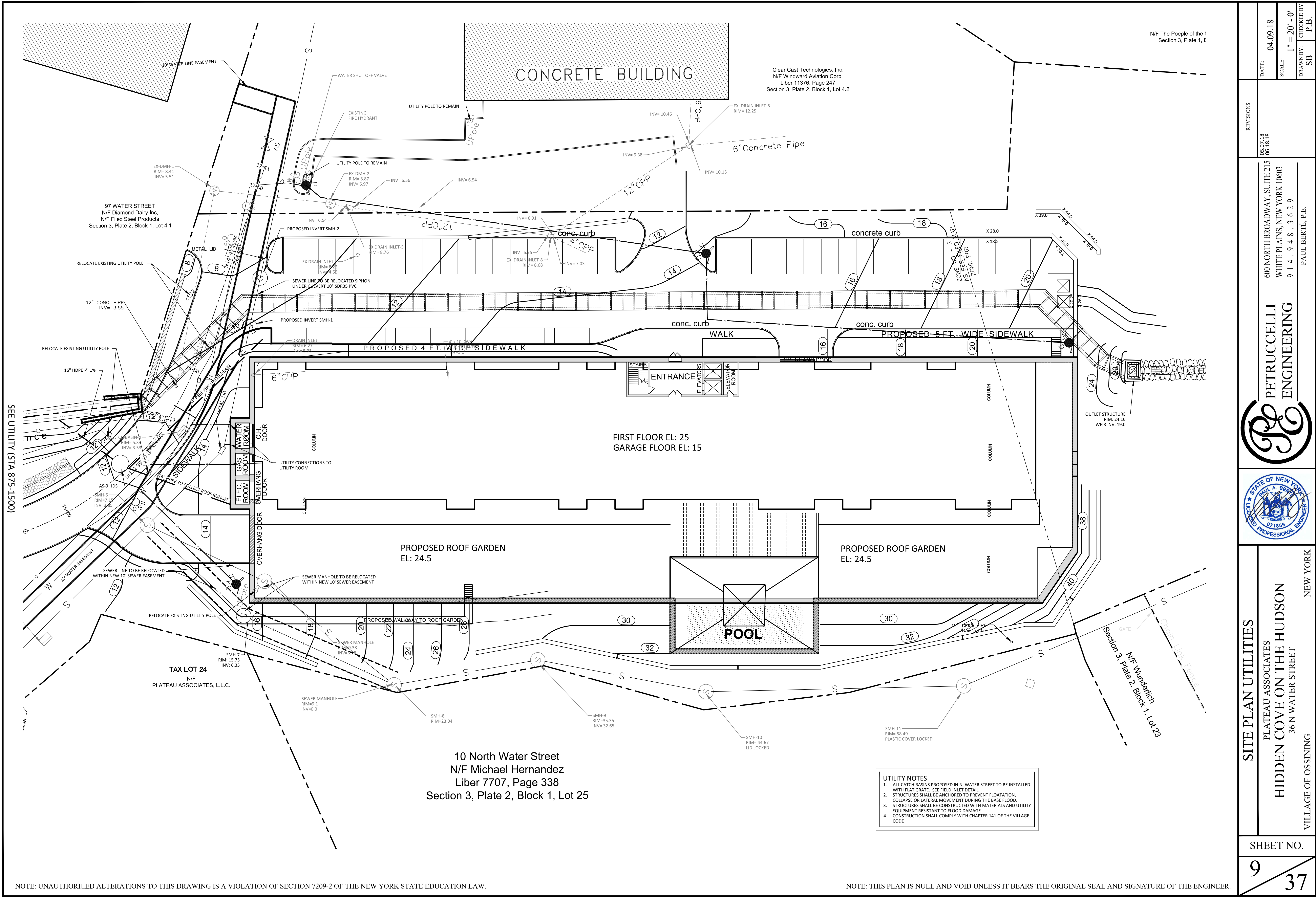


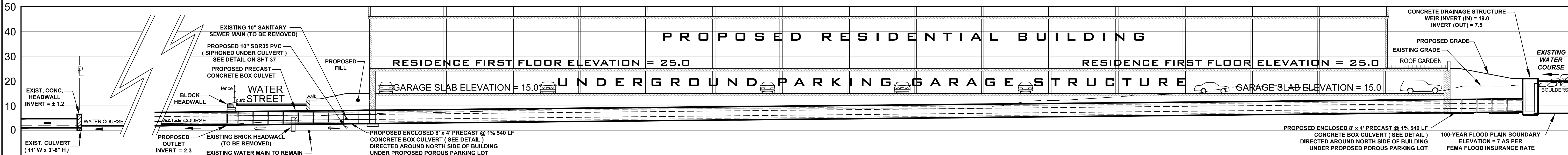
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SCALE: 1" = 20 FT., VERTICAL AND HORIZONTAL

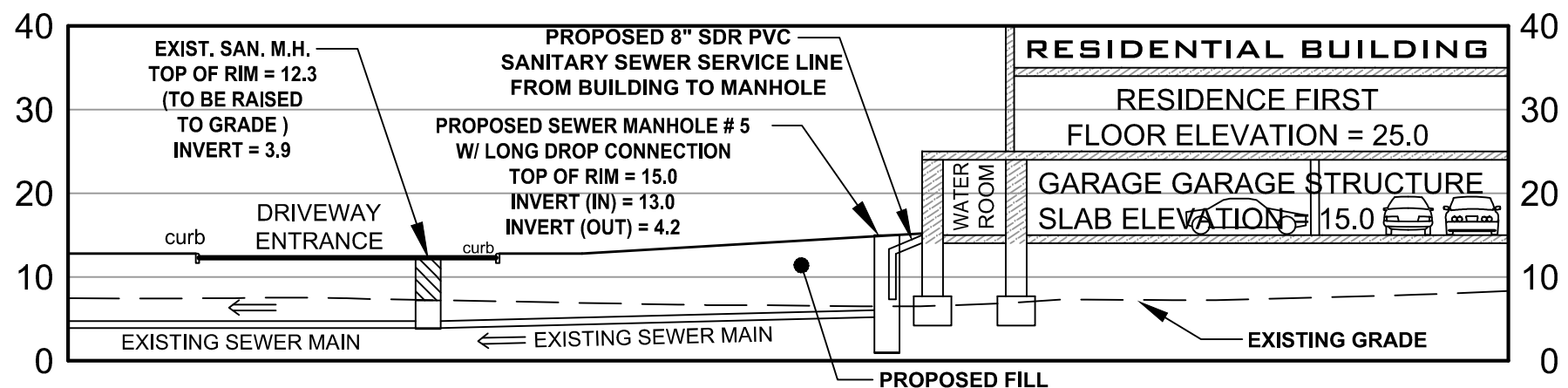
SHEET NO.	8 / 37	CROSS SECTIONS	PLATEAU ASSOCIATES HIDDEN COVE ON THE HUDSON 36 NORTH WATER STREET VILLAGE OF OSSINING NEW YORK			PETRUCCELLI ENGINEERING 600 NORTH BROADWAY, SUITE 215 WHITE PLAINS, N.Y. 10603 9 1 4 . 9 4 8 . 3 6 2 9 PAUL BERTÉ, P.E.	REVISIONS	JOB NO.	2001
							09.09.07 09.19.17 11.21.07 03.31.17 09.11.08 06.24.17 10.31.08 04.09.18 10.31.08 04.09.18 10.31.08 06.16.18 03.25.13 07.10.13	DATE:	04.09.18
							SCALE:	AS NOTED	
							DRAWN BY:	SB	CHECKED BY:
							P.B.		







DRAINAGE PROFILE THRU PROPOSED CONCRETE BOX CULVERT

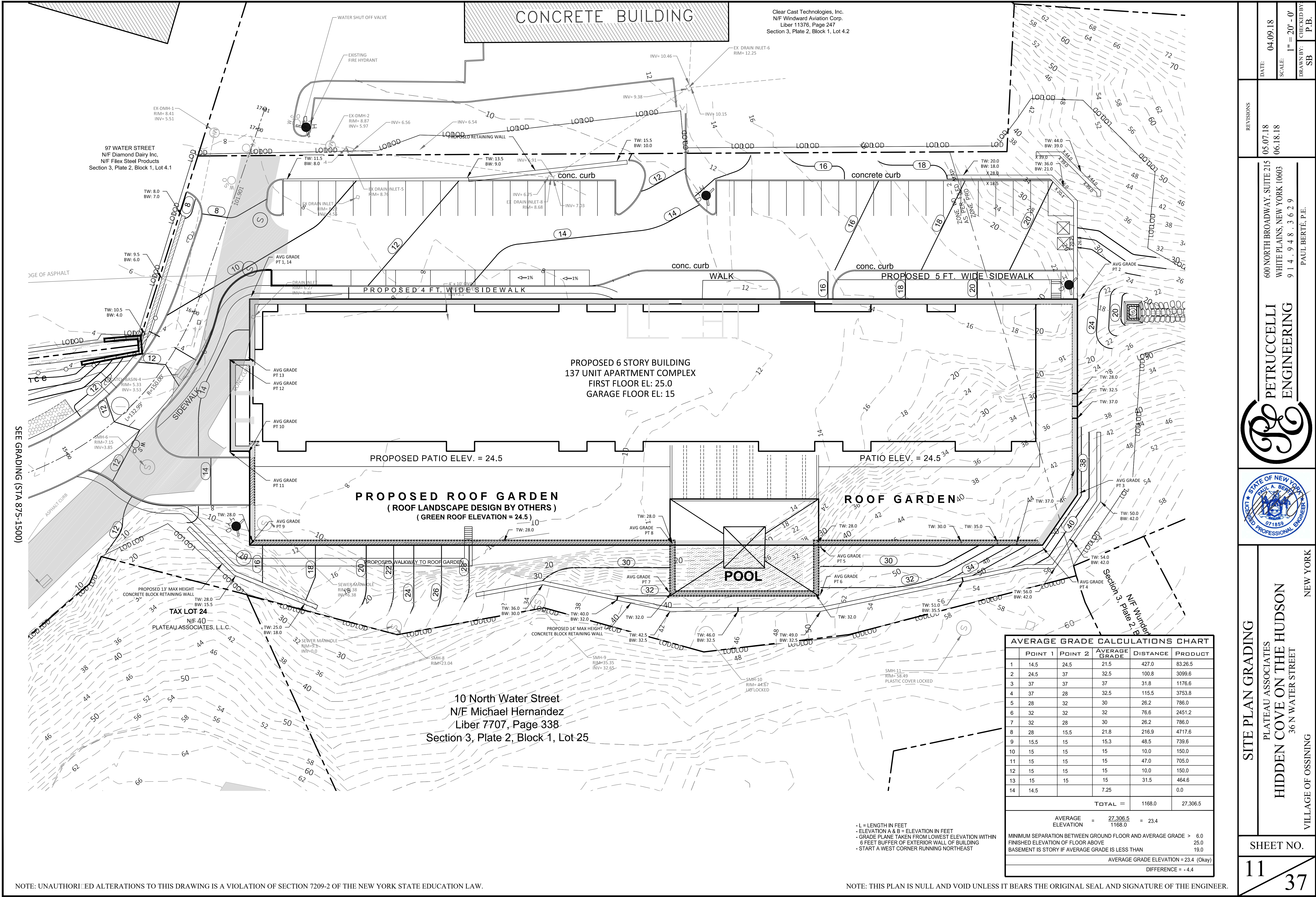
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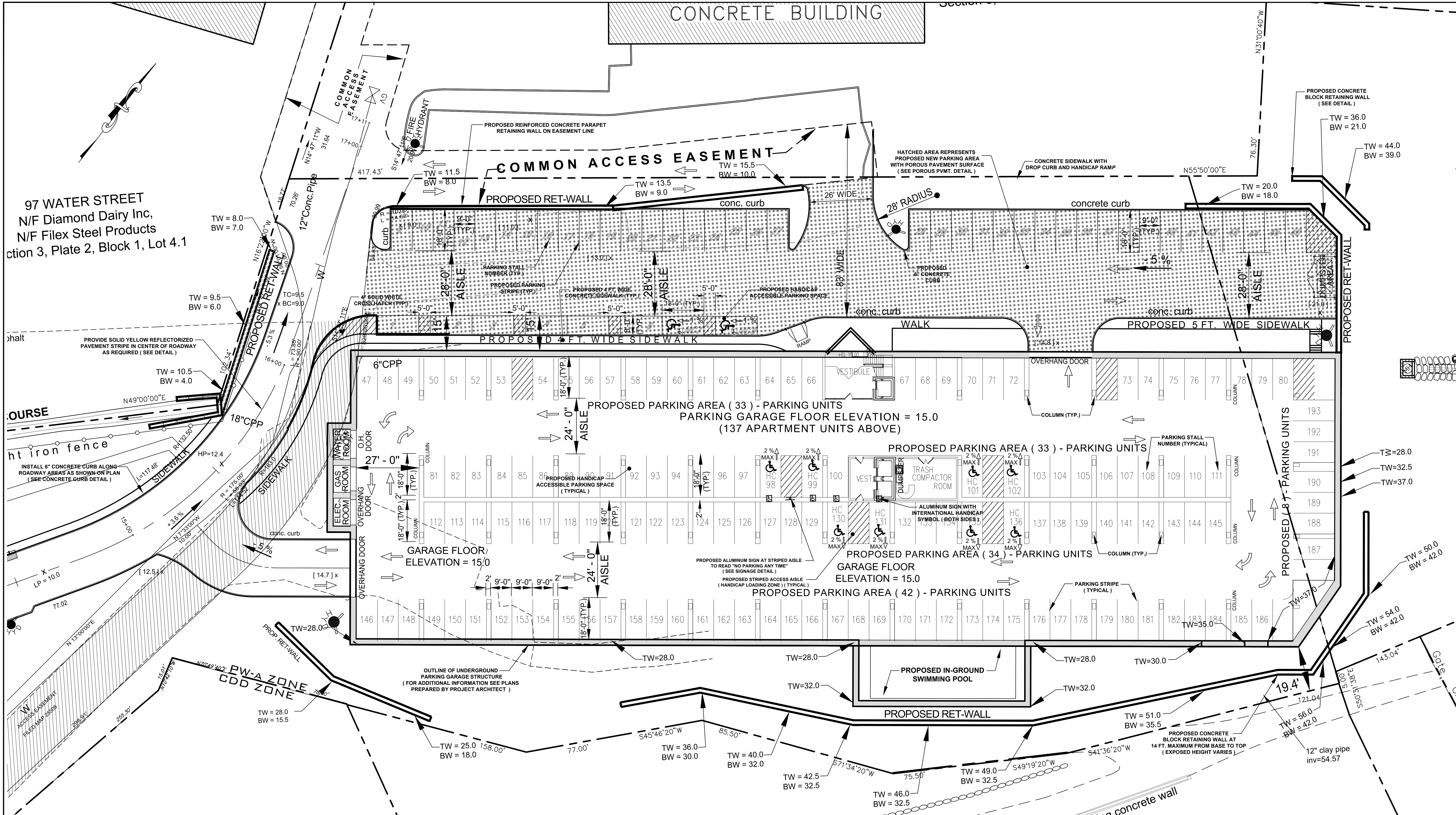


PROFILE THRU SEWER MAIN CONNECTION

SCALE: 1" = 20'-0" HORIZONTAL AND VERTICAL

UTILITY PROFILES				600 NORTH BROADWAY WHITE PLAINS, N.Y. 10603		02.09.07 05.07.18 04.11.08 06.18.18 09.21.08 10.31.08 10.17.12 11.20.12 02.24.13 02.10.13 04.09.18		REVISIONS	JOB NO. 2001
PLATEAU ASSOCIATES HIDDEN COVE ON THE HUDSON 36 NORTH WATER STREET VILLAGE OF OSSINING NEW YORK				PETRUCCELLI ENGINEERING		DATE: 04.09.18 SCALE: AS NOTED DRAWN BY: SB CHECKED BY: P.B.			
SHEET NO.		10 / 37		PAUL BERTÉ, P.E.		9 1 4 . 9 4 8 . 3 6 2 9			





GENERAL RETAINING WALL CONSTRUCTION NOTES:

1. CONTRACTOR SHALL INSPECT THE SITE PRIOR TO BIDDING THE JOB AND VERIFY ALL EXISTING CONDITIONS. ANY DISCREPANCIES FROM WHAT IS SHOWN ON THE PLANS TO ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY, AND PRIOR TO BIDDING THE WORK.
2. ALL WORK SHALL CONFORM TO ALL APPLICABLE FEDERAL, STATE, AND VILLAGE OF OSSINING CODES, RULES AND REGULATIONS.
3. IF CONTRACTOR ENCOUNTERS ANY WET AREA OF SOIL WHILE EXCAVATING OR DURING CONSTRUCTION HE SHALL NOTIFY THE ENGINEER IMMEDIATELY.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING TRENCH WORK DURING CONSTRUCTION AGAINST COLLAPSE IN ACCORDANCE TO ALL APPLICABLE CODES, STANDARDS AND GOOD PRACTICES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PERSONS DURING CONSTRUCTION FROM HARM IN ACCORDANCE WITH ALL APPLICABLE CODES, STANDARDS, AND GOOD PRACTICES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CONVENIENT ACCESS AND SAFE AND PROPER FACILITIES FOR THE INSPECTION OF ALL PARTS OF THE WORK.
7. THE ENGINEER SHALL HAVE RIGHT TO ORDER THE REMOVAL OF DEFECTIVE WORK AND/OR MATERIAL AND UNAPPROVED WORK AND/OR MATERIAL. THE COST OF REMOVAL AND REPLACEMENT SHALL BE BORNE BY THE CONTRACTOR.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO EXISTING PROPERTIES AS A RESULT OF HIS WORK OR WORKMANSHIP. THE CONTRACTOR SHALL RESTORE TO EXISTING CONDITION ANY PROPERTY DAMAGED AS A RESULT OF HIS WORK OR WORKMANSHIP AT NO ADDITIONAL COST TO THE OWNER.
9. A LICENSED SURVEYOR SHALL BE OBTAINED TO STAKEOUT THE LAYOUT OF THE PROPOSED WALL.
10. THE LOCATION OF UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE AND SHALL BE DETERMINED EXACTLY IN THE FIELD BY THE CONTRACTOR PRIOR TO BEGINNING WORK.
11. THE CONTRACTOR SHALL CONTACT THE OWNERS OF ALL UTILITIES AFFECTING THE SITE PRIOR TO THE START OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE EXACT LOCATION OF UTILITIES FROM THE OWNERS PRIOR TO CONSTRUCTION. UNDERGROUND UTILITIES CALL CENTER OF NEW YORK: CALL 1-800-962-7962, CODE RULE #753.

PARKING LEGEND

- PARKING STALL
- ALUMINUM SIGN
- HANDICAP PARKING SIGN
- HANDICAP PARKING STALL
- EXISTING FIRE HYDRANT
- TRAFFIC DIRECTION
- EDGE OF PAVEMENT
- PROPOSED CONCRETE CURB
- PROPOSED PRECAST RETAINING WALL
- PROP. CONCRETE BLOCK RET-WALL

TRASH NOTE:

USING A FACTOR OF 12.5 GALLONS OF TRASH GENERATED PER FAMILY, APPROXIMATELY 12,000 GALLONS WILL BE GENERATED PER WEEK. ASSUMING A 4:1 COMPACTION RATIO, APPROXIMATELY 7.5 CY OF TRASH SHALL BE COLLECTED TWICE WEEKLY. SUFFICIENT SPACE FOR TWO (2) 5 YARD DUMPSTERS IS PROVIDED

REFUSE PICKUP NOTE:

ALL REFUSE STATIONS WILL BE LOCATED WITHIN THE PARKING GARAGE AND WILL BE COMPACTORS. REFUSE PICKUP FOR SOLID WASTE REMOVAL WILL BE BY PRIVATE CARTING.

ZONING PARKING REQUIREMENTSS TABLE

ZONE: PW-A (NORTHERN WATERFRONT DISTRICT)

FACILITY	PARKING REQUIRED PER UNIT	PROPOSED BEDROOM MIX (137 UNITS TOTAL)	SPACES (ROUND-UP)
PROPOSED RESIDENTIAL BUILDING	1 SPACE PER 1 BEDROOM OR STUDIO	34 UNITS - 1 BEDROOM	34
	1.5 SPACE PER 2 BEDROOM OR MORE	103 UNITS - 2 BEDROOM	154.5
TOTAL PARKING SPACES REQUIRED = 189			
TOTAL PARKING SPACES PROVIDED = 193 Δ			

Δ - PROPOSED 150 PARKING SPACES LOCATED INSIDE AND 46 PARKING SPACES LOCATED OUTSIDE
- PROPOSED 10 HANDI CAP SPACES AND 189 STANDARD CAR SPACES PROVIDED

JOB NO.2001

DATE:04.09.18

SCALE:1" = 20' - 0"

DRAWN BY:KMM

CHECKED BY:P.B.

REVISIONS

02.09.07 02:13:17
09.21.08 05:07:18
10.31.08 06:18:18
10.17.12 08:03:18
11.20.12 03:45:13
07.16.13

600 NORTH BROADWAY, SUITE 215
WHITE PLAINS, N.Y. 10603
9 1 4 . 9 4 8 . 3 6 2 9
PAUL BERTÉ, P.E.

600 NORTH BROADWAY, SUITE 215
WHITE PLAINS, N.Y. 10603
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600 NORTH BROADWAY, SUITE 215
WHITE PLAINS, N.Y. 10603
9 1 4 . 9 4 8 . 3 6 2 9
PAUL BERTÉ, P.E.

PROPOSED PARKING PLAN

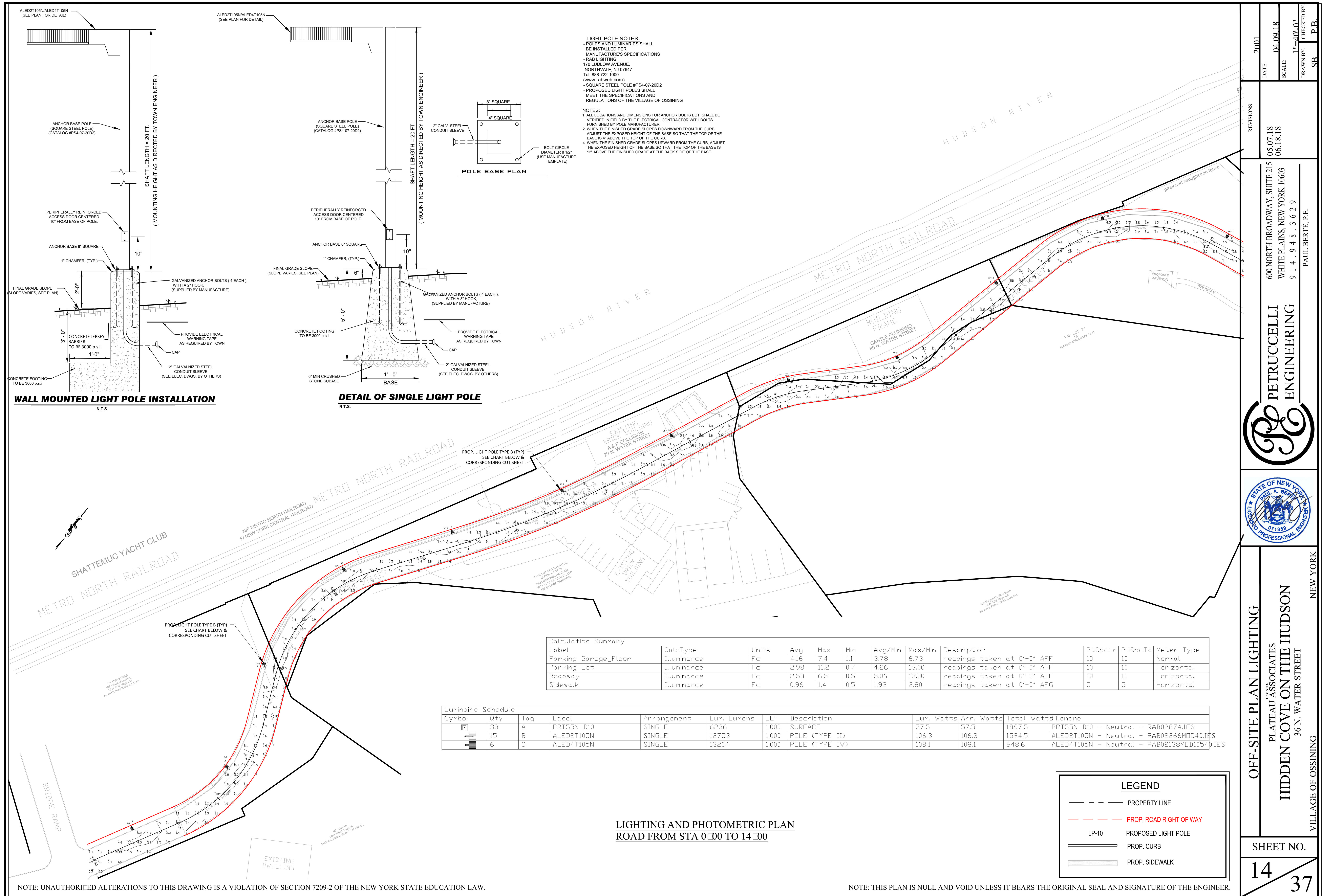
PLATEAU ASSOCIATES
HIDDEN COVE ON THE HUDSON
36 NORTH WATER STREET
VILLAGE OF OSSINING

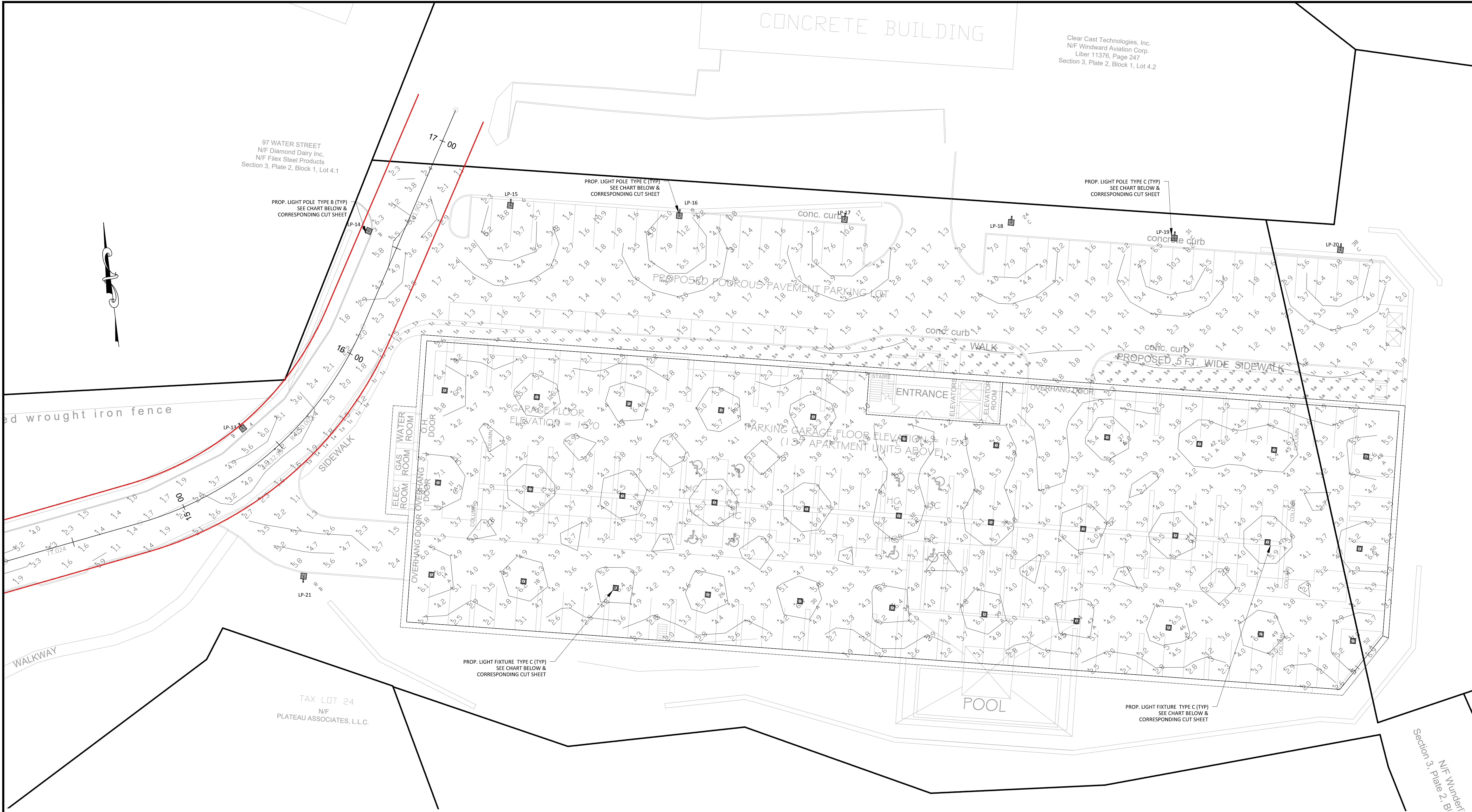
STATE OF NEW YORK
PAUL A. BERTÉ
071859
REGISTERED PROFESSIONAL ENGINEER

NEW YORK

SHEET NO.

12 / 37





Calculation Summary											
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	PtSpclr	PtSpclb	Meter Type
Parking_Garage_Floor	Illuminance	Fc	4.16	7.4	1.1	3.78	6.73	readings taken at 0'-0" AFF	10	10	Normal
Parking Lot	Illuminance	Fc	2.98	11.2	0.7	4.26	16.00	readings taken at 0'-0" AFF	10	10	Horizontal
Roadway	Illuminance	Fc	2.53	6.5	0.5	5.06	13.00	readings taken at 0'-0" AFF	10	10	Horizontal
Sidewalk	Illuminance	Fc	0.96	1.4	0.5	1.92	2.80	readings taken at 0'-0" AFG	5	5	Horizontal

Luminaire Schedule											
Symbol	Qty	Tag	Label	Arrangement	Lum. Lumens	LLF	Description	Lum. Watts	Arr. Watts	Total Watts	Filename
	33	A	PRT55N D10	SINGLE	6236	1.000	SURFACE	57.5	57.5	1897.5	PRT55N D10 - Neutral - RAB02874.IES
	15	B	ALED2T105N	SINGLE	12753	1.000	POLE (TYPE II)	106.3	106.3	1594.5	ALED2T105N - Neutral - RAB02266MOD40.IES
	6	C	ALED4T105N	SINGLE	13204	1.000	POLE (TYPE IV)	108.1	108.1	648.6	ALED4T105N - Neutral - RAB02138MOD10540.IES

LIGHTING AND PHOTOMETRIC PLAN
SITE PLAN

LEGEND

PROPERTY LINE

PROP. ROAD RIGHT OF WAY

LP-10 PROPOSED LIGHT POLE

PROP. CURB

PROP. SIDEWALK

NOTE: UNAUTHORIZED ALTERATIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.

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2001

REVISIONS

05.07.18
06.18.18

DATE: 04.09.18

SCALE: 1"=20'-0"

DRAWN BY: SB

CHECKED BY: P.B.

600 NORTH BROADWAY, SUITE 215
WHITE PLAINS, NEW YORK 10603
914.948.3629

PETRUCCELLI
ENGINEERING

PAUL BERTÉ, P.E.

STATE OF NEW YORK
PAUL A. BERTÉ
071859
REGISTERED PROFESSIONAL ENGINEER

SITE PLAN LIGHTING

PLATEAU ASSOCIATES
HIDDEN COVE ON THE HUDSON
36 N. WATER STREET
VILLAGE OF OSSING

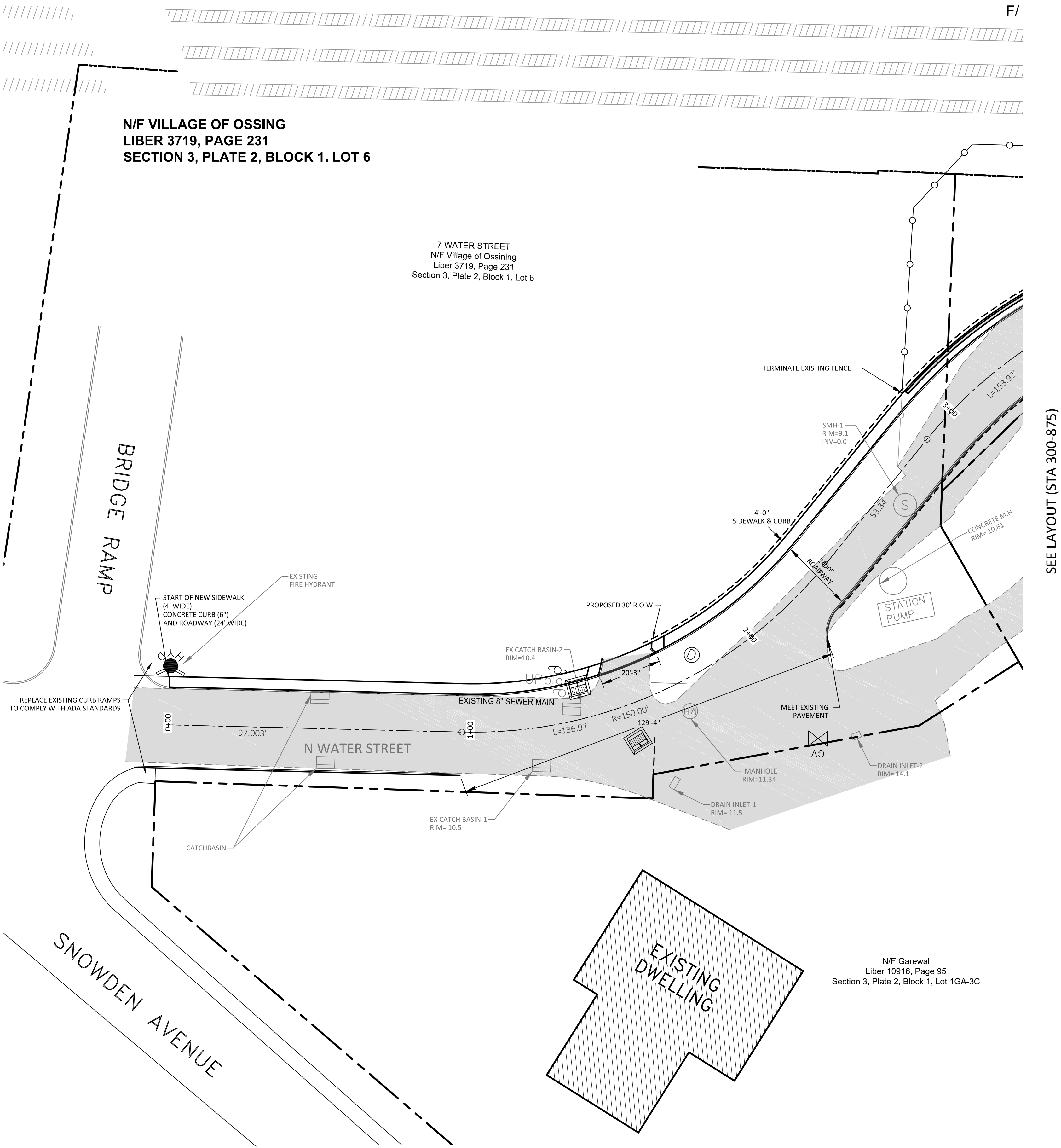
NEW YORK

SHEET NO.

15
37

SHATTEMUC YACHT CLUB

METRO NORTH RAILROAD



SEE LAYOUT (STA 300-875)

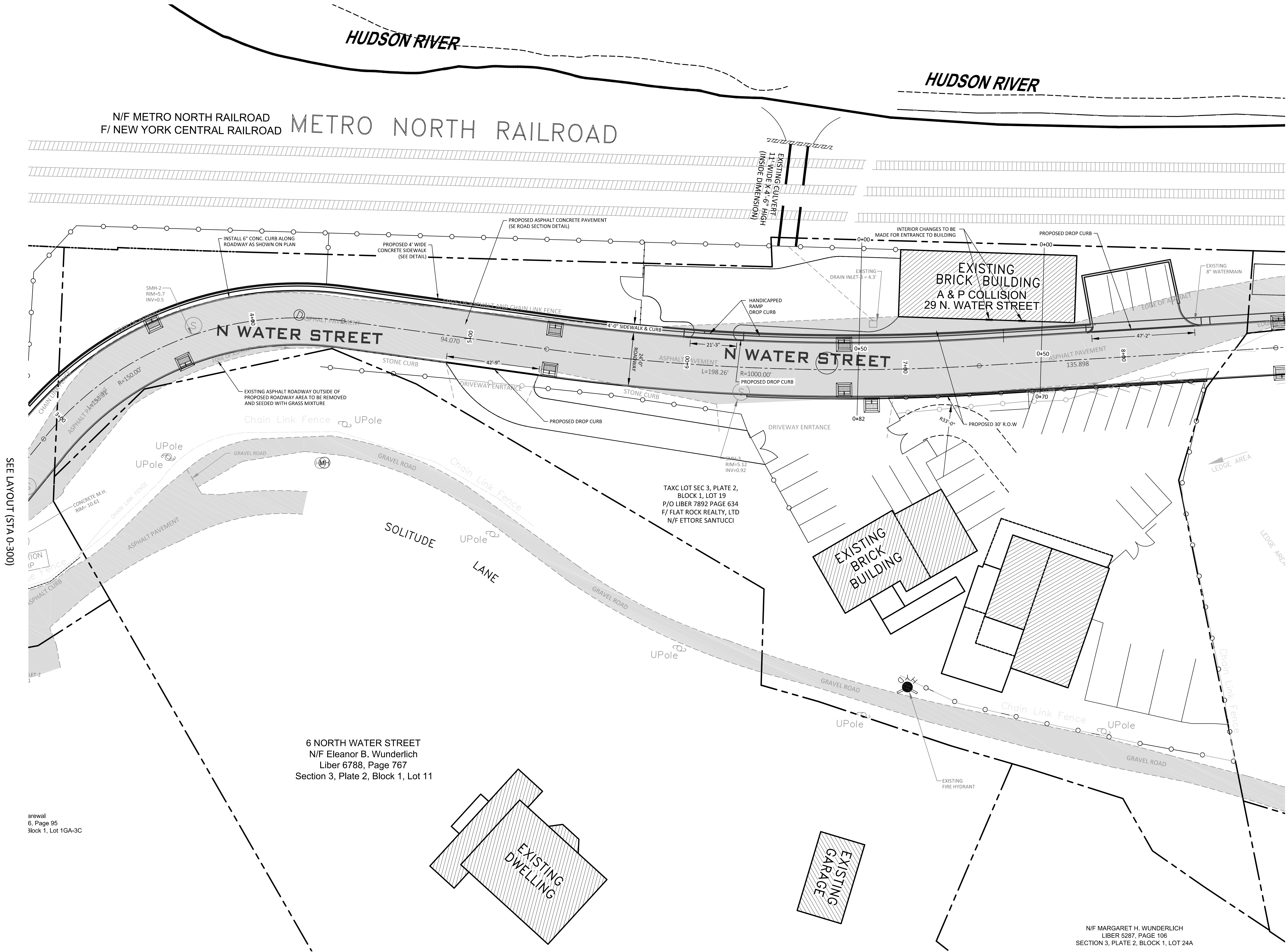
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REVISIONS	05.07.18	DATE:	04.09.18
	06.18.18 08.03.18	SCALE:	1" = 20' - 0'
DRAWN BY: SB		CHECKED BY: P.B.	

	PETRUCCELLI ENGINEERING	600 NORTH BROADWAY, SUITE 215 WHITE PLAINS, NEW YORK 10603 914.948.3629 PAUL BERTÉ, P.E.
	OFF-SITE LAYOUT (STA 0-300) PLATEAU ASSOCIATES HIDDEN COVE ON THE HUDSON 36 N WATER STREET VILLAGE OF OSSING NEW YORK	

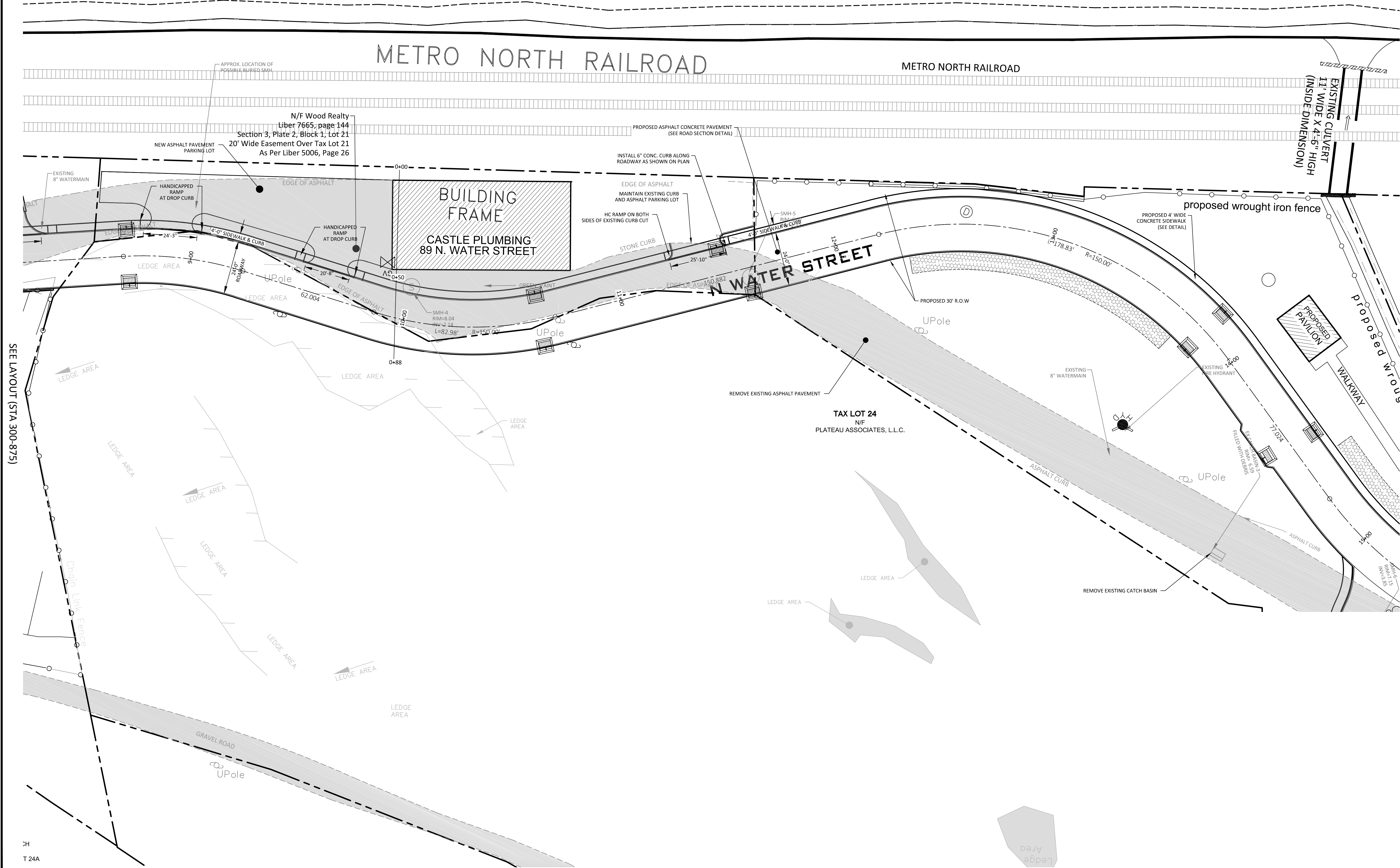
SHEET NO.	16	37
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05.07.18 06.16.18					
PETRUCCELLI ENGINEERING		600 NORTH BROADWAY, SUITE 215 WHITE PLAINS, NEW YORK 10603 914.948.3629 PAUL BERTÉ, P.E.			
OFF-SITE LAYOUT (STA 300-875)		NEW YORK			
PLATEAU ASSOCIATES HIDDEN COVE ON THE HUDSON 36 N WATER STREET VILLAGE OF OSSING					
SHEET NO.		17 / 37			



SHATTEMUC YACHT CLUB

METRO NORTH RAILROAD

1. ALL CATCH BASINS PROPOSED IN N. WATER STREET TO BE INSTALLED WITH FLAT GRATE. SEE FIELD INLET DETAIL.
2. STRUCTURES SHALL BE ANCHORED TO PREVENT FLOATATION, COLLAPSE OR LATERAL MOVEMENT DURING THE BASE FLOOD.
3. STRUCTURES SHALL BE CONSTRUCTED WITH MATERIALS AND UTILITY EQUIPMENT RESISTANT TO FLOOD DAMAGE.
4. CONSTRUCTION SHALL COMPLY WITH CHAPTER 141 OF THE VILLAGE CODE

**N/F VILLAGE OF OSSING
LIBER 3719, PAGE 231
SECTION 3, PLATE 2, BLOCK 1. LOT**

7 WATER STREET
N/F Village of Ossining
Liber 3719, Page 231
Section 3, Plate 2, Block 1, Lot

BRIDGE RAMPS

N WATER STREET

WATER STREET UTILITIES (STA 0+00 -3+00)

SCALE 1" = 1'

SEE UTILITIES / CTA 300 075)

OFF-SITE UTILITIES (STA 0+300)

HIDDEN COVE ON THE HUDSON

III AGE OF OSSINING

SHEET NO

$$\frac{19}{35}$$
PETRUCCELLI
ENGINEERING

400 NORTH BROADWAY, SUITE 215
WHITE PLAINS, NEW YORK 10603
914 948 3629

PAUL BERTÉ, P.E.

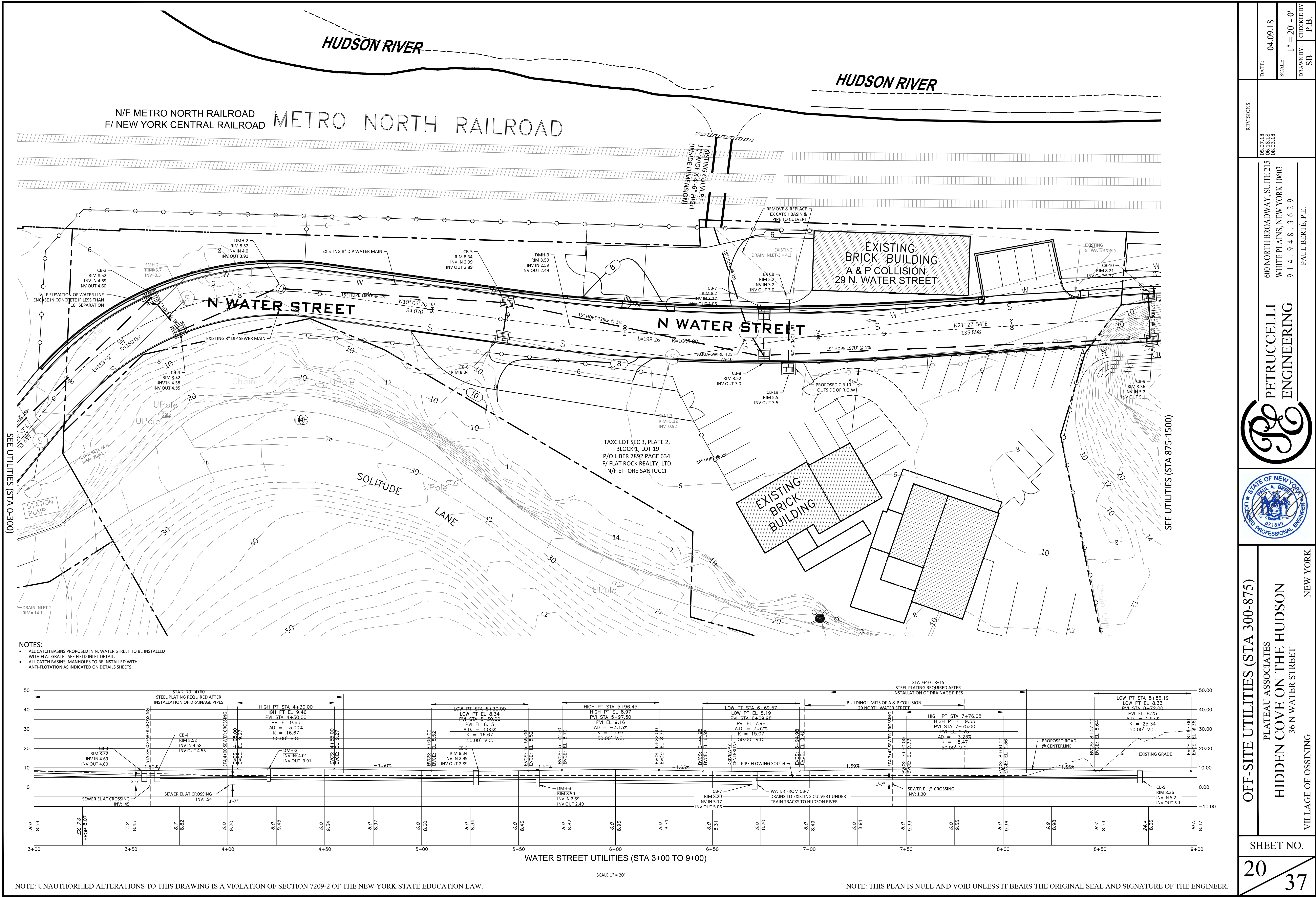
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5.07.18
6.18.18
8.03.18

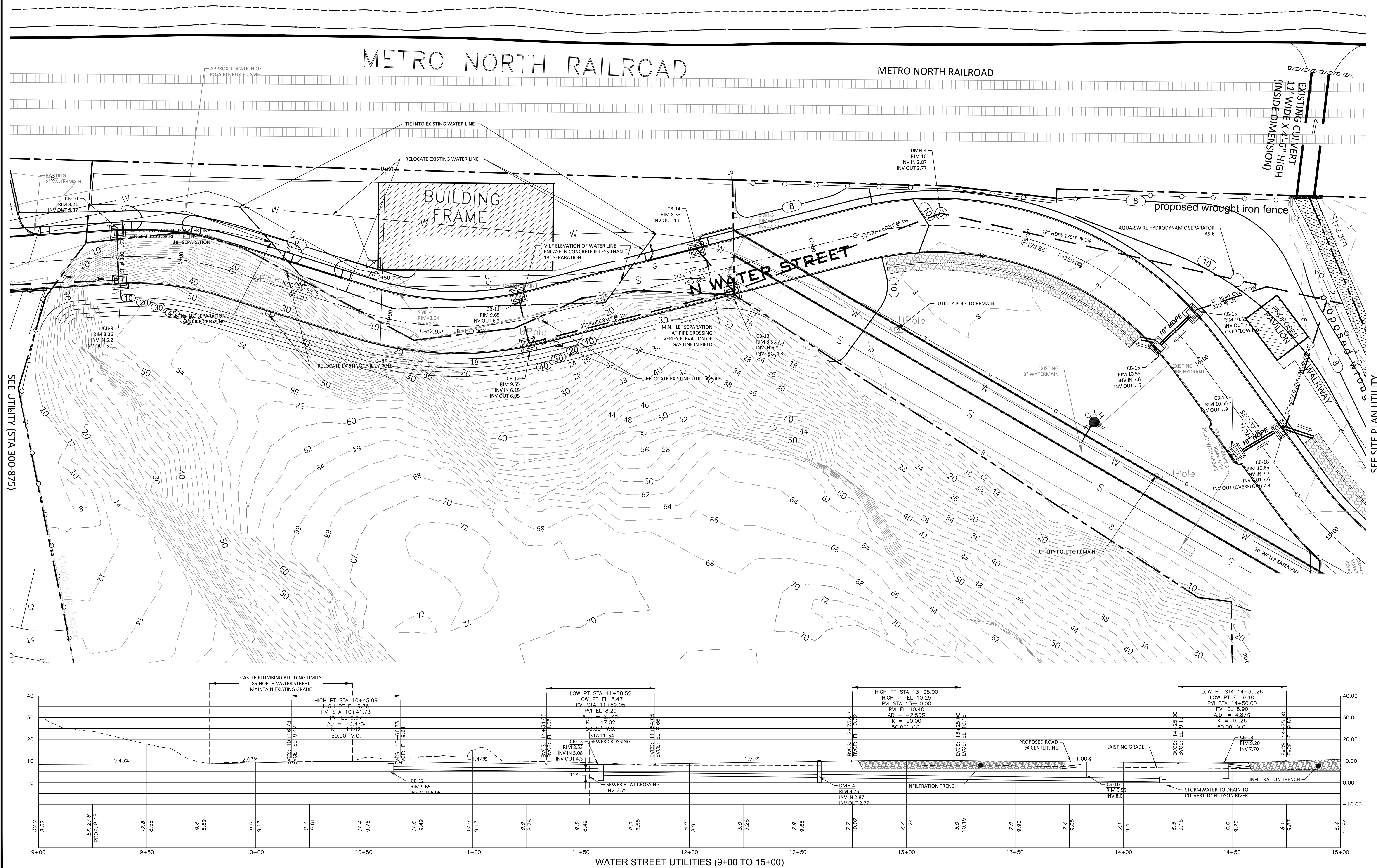
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DRAWN BY:	CHECKED BY:
CD	DD





- NOTES:**
- ALL CATCH BASINS PROPOSED IN N. WATER STREET TO BE INSTALLED WITH FLAT GRATE. SEE FIELD INLET DETAIL.
 - ALL CATCH BASINS, MANHOLES TO BE INSTALLED WITH ANTI-FLOTATION AS INDICATED ON DETAILS SHEETS.



NOTE: UNAUTHORIZED ALTERATIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.

SCALE 1" = 20'

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OFF-SITE UTILITIES (STA 875-1500)						REVISIONS	
PLATEAU ASSOCIATES HIDDEN COVE ON THE HUDSON 36 N WATER STREET VILLAGE OF OSSINING NEW YORK		PAUL A. BERTÉ, P.E.		600 NORTH BROADWAY, SUITE 215 WHITE PLAINS, NEW YORK 10603 9 1 4 . 9 4 8 . 3 6 2 9		DATE: 04.09.18 SCALE: 1" = 20' - 0' DRAWN BY: SB CHECKED BY: P.B.	
SHEET NO.		PAUL BERTÉ, P.E.		600 NORTH BROADWAY, SUITE 215 WHITE PLAINS, NEW YORK 10603 9 1 4 . 9 4 8 . 3 6 2 9		DATE: 04.09.18 SCALE: 1" = 20' - 0' DRAWN BY: SB CHECKED BY: P.B.	
21 / 37		PAUL BERTÉ, P.E.		600 NORTH BROADWAY, SUITE 215 WHITE PLAINS, NEW YORK 10603 9 1 4 . 9 4 8 . 3 6 2 9		DATE: 04.09.18 SCALE: 1" = 20' - 0' DRAWN BY: SB CHECKED BY: P.B.	

SHATTEMUC YACHT CLUB

METRO NORTH RAILROAD

N/F MET
F/ NEW YC

**N/F VILLAGE OF OSSING
LIBER 3719, PAGE 231
SECTION 3. PLATE 2. BLOCK 1. LOT**

7 WATER STREET
N/F Village of Ossining
Liber 3719, Page 231
Section 3, Plate 2, Block 1, Lot 1

BRIDGE RAMPS

N WATER STREET

14 SNOWDEN AVENUE

EXISTING DWELLING

N/F Garewal
Liber 10916, Page 95
Section 3, Plate 2, Block 1, Lot 1GA-2

SEE GRADING (STA 300-875)

OFF-SITE GRADING (STA 0-300)

PLATEAU ASSOCIATES
HIDDEN COVE ON THE HUDSON
36 N WATERS STREET

VILLAGE OF OSSING NEW YORK

SHEET NO.

~~22~~ 3'

PETRUCCELLI ENGINEERING

100 NORTH BROADWAY, SUITE 215
WHITE PLAINS, NEW YORK 10603
014 948 3629

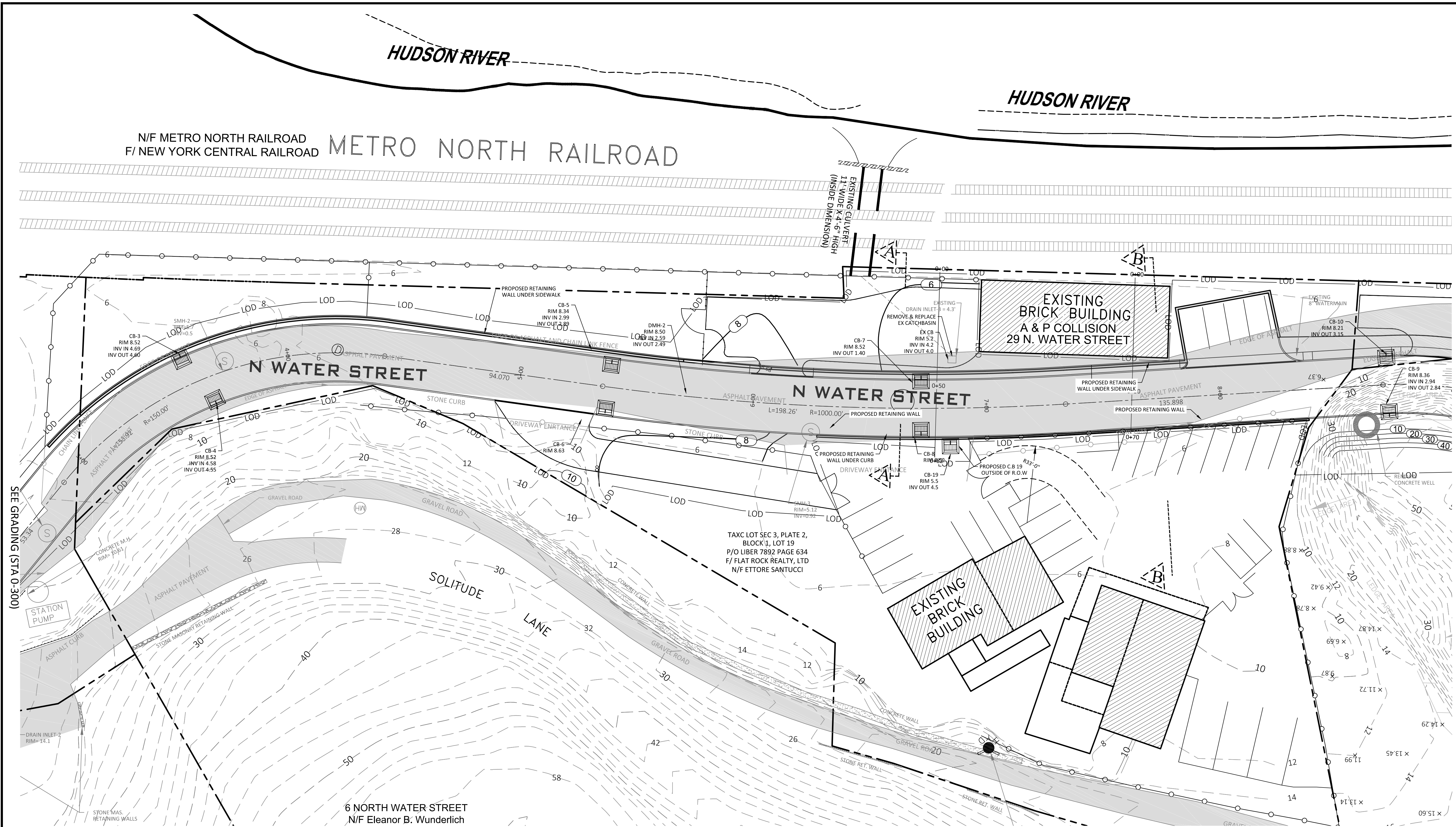
...ACOL BLENILE, I.E.

DATE: 04.09.18

SCALE: 1" = 20' -

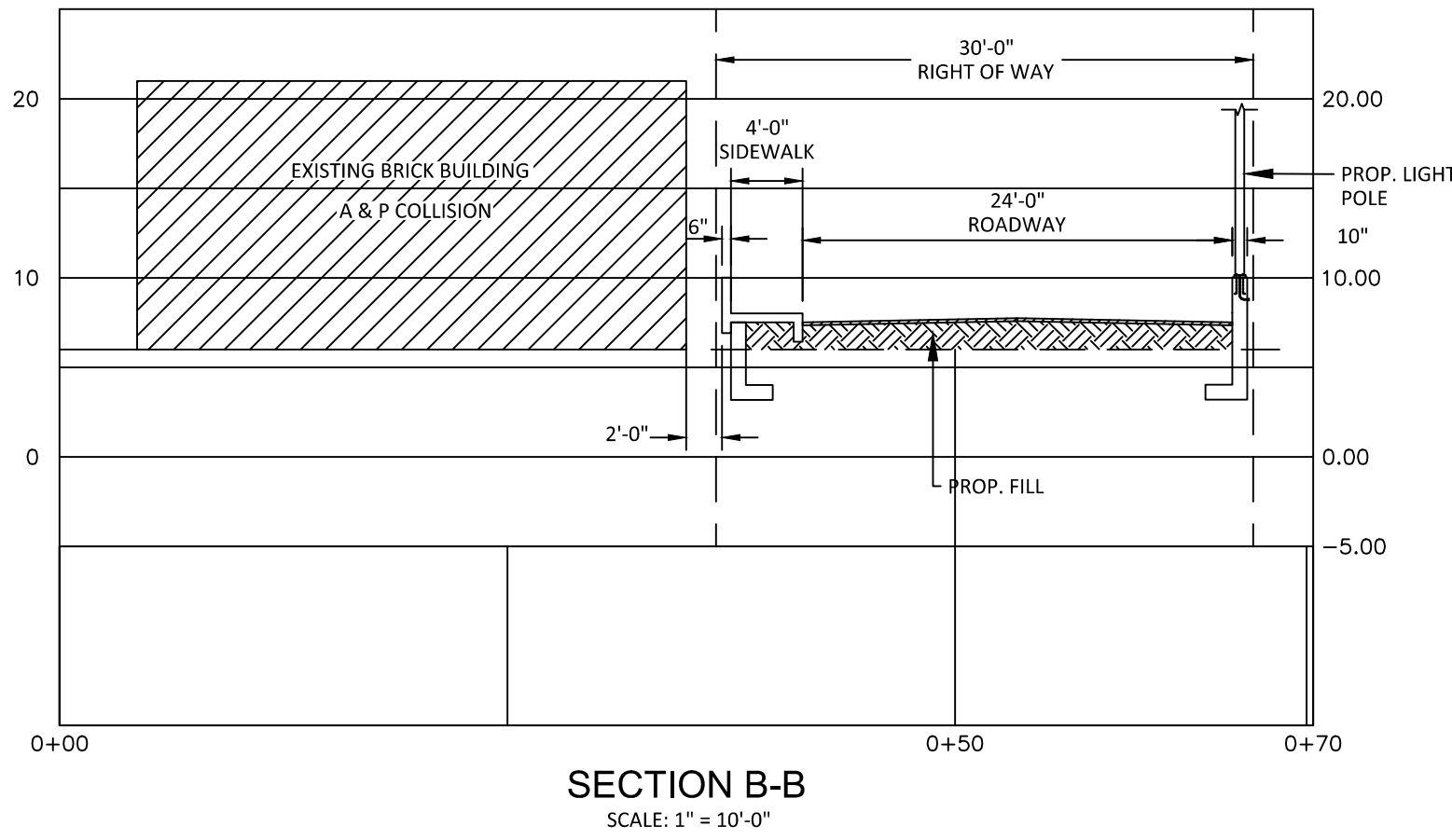
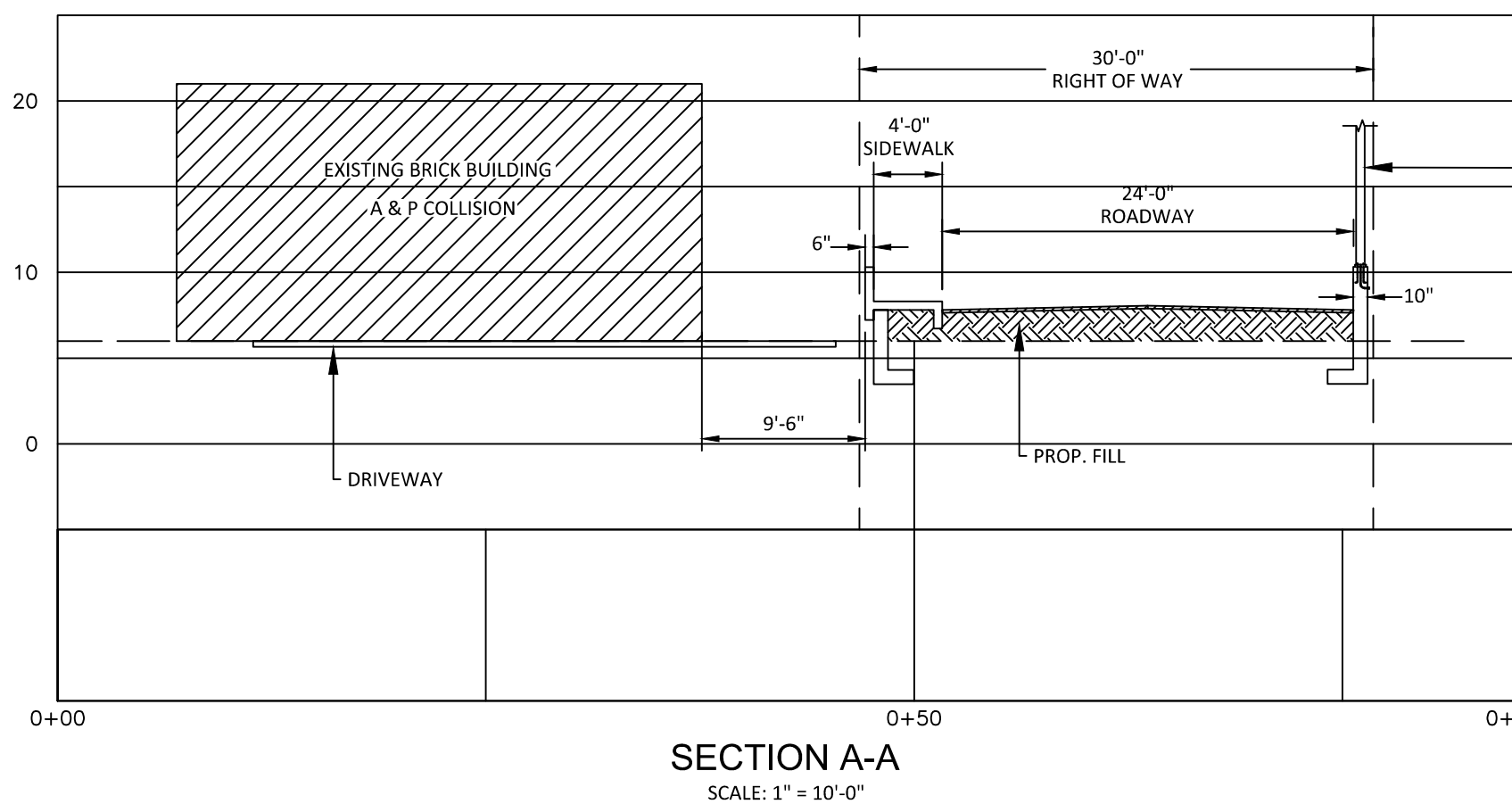
NOTE: UNAUTHORIZED ALTERATIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW

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SEE GRADING (STA 0-300)

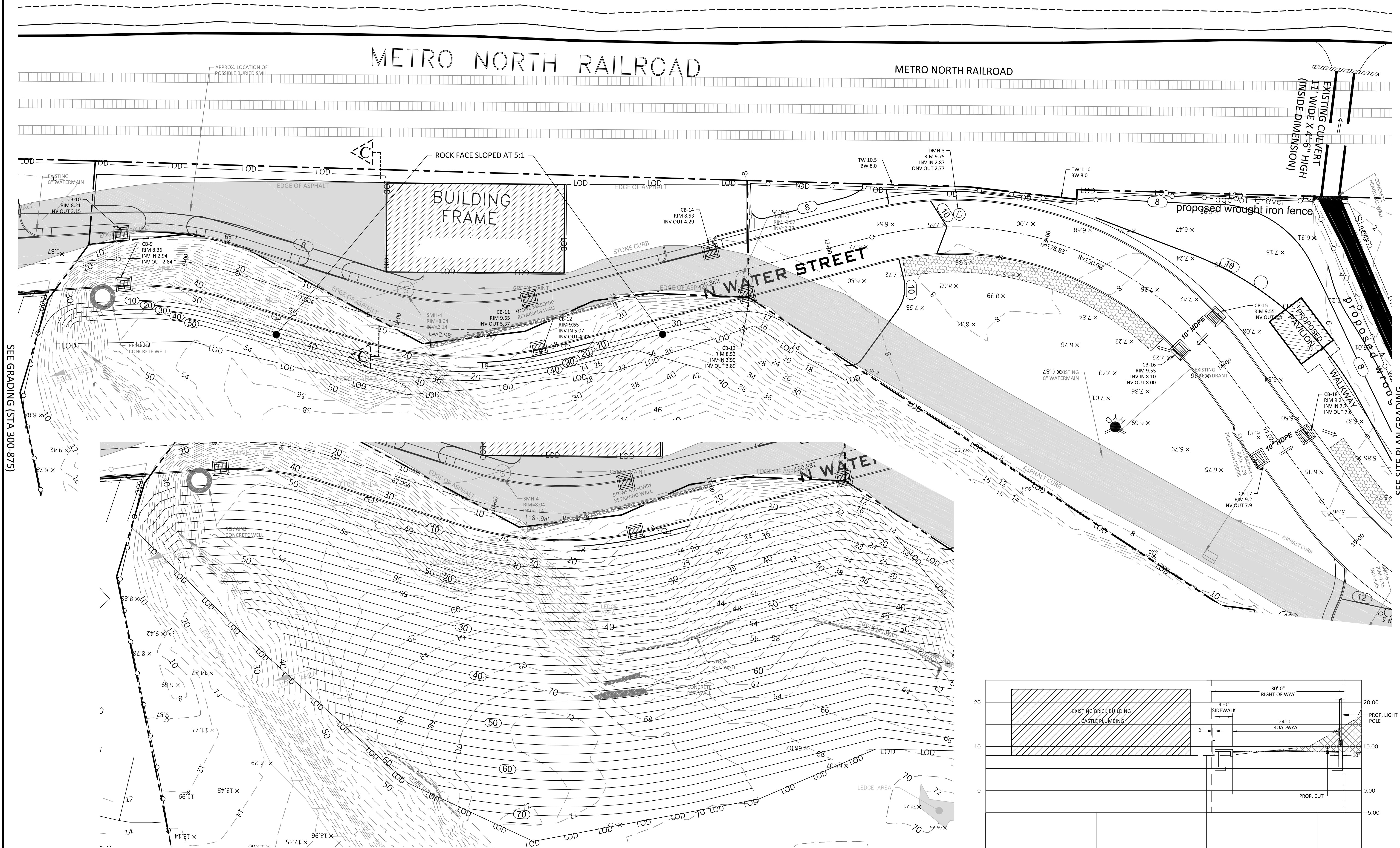
SEE GRADING (STA 875-1500)



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REVISIONS	DATE:	04.09.18
	SCALE:	1" = 20' - 0'
05.07.18 06.18.18	DRAWN BY:	SB
	CHECKED BY:	P.B.
600 NORTH BROADWAY, SUITE 215 WHITE PLAINS, NEW YORK 10603 9 1 4 . 9 4 8 . 3 6 2 9 PAUL BERTÉ, P.E.		
PETRUCCELLI ENGINEERING		
OFF-SITE GRADING (STA 300-875) PLATEAU ASSOCIATES HIDDEN COVE ON THE HUDSON 36 N WATER STREET VILLAGE OF OSSING NEW YORK		
SHEET NO. 23 / 37		

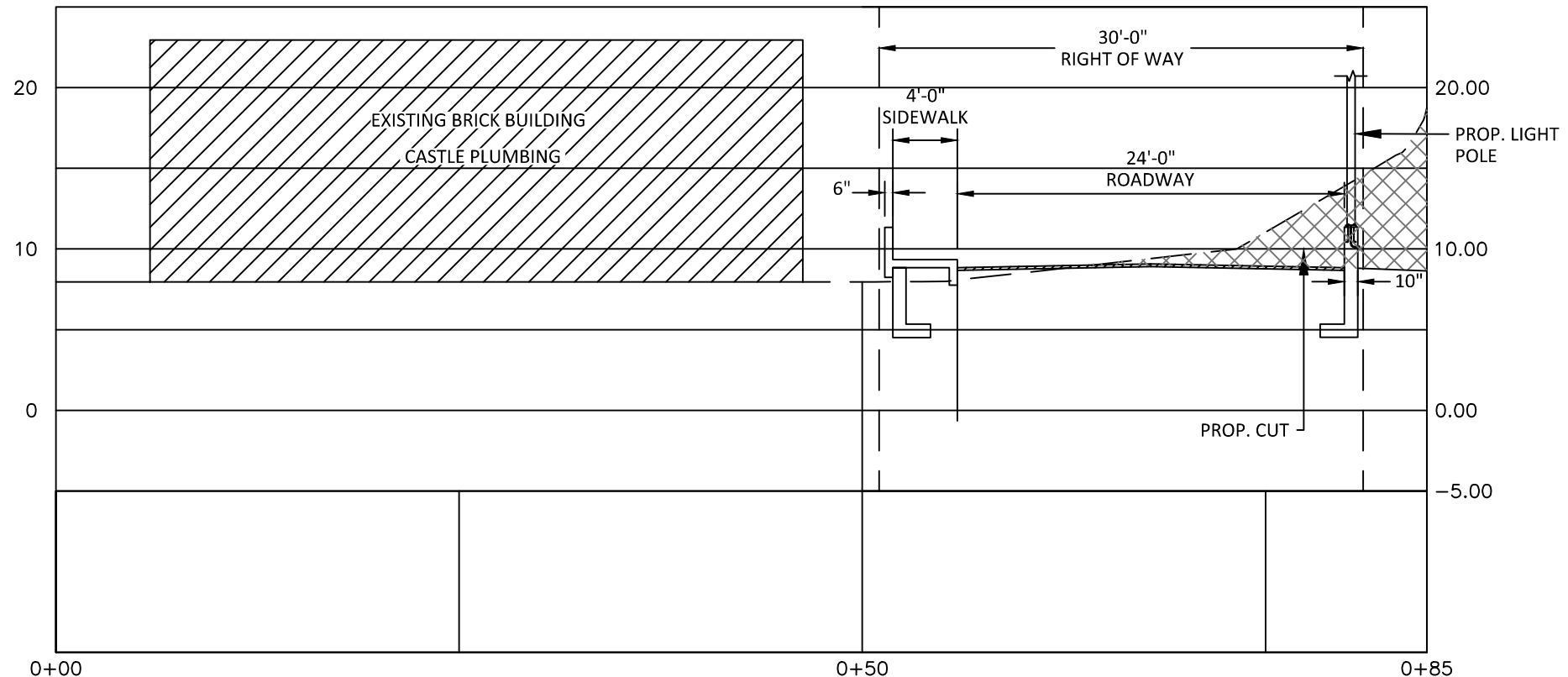


SEE GRADING (STA 300-875)

SEE SITE PLAN GRADING

NOTE: THIS SLOPE REPRESENTS A WORST-CASE GRADING SCENARIO THAT COULD OCCUR IF THE STABILITY OF THE ROCK AT THIS LOCATION IS NOT SUFFICIENT TO CREATE A ROCK FACE (AS PROPOSED IN THE SCENARIO AT THE TOP OF THE SHEET).

ALTERNATE SLOPE
1" = 20' - 0"

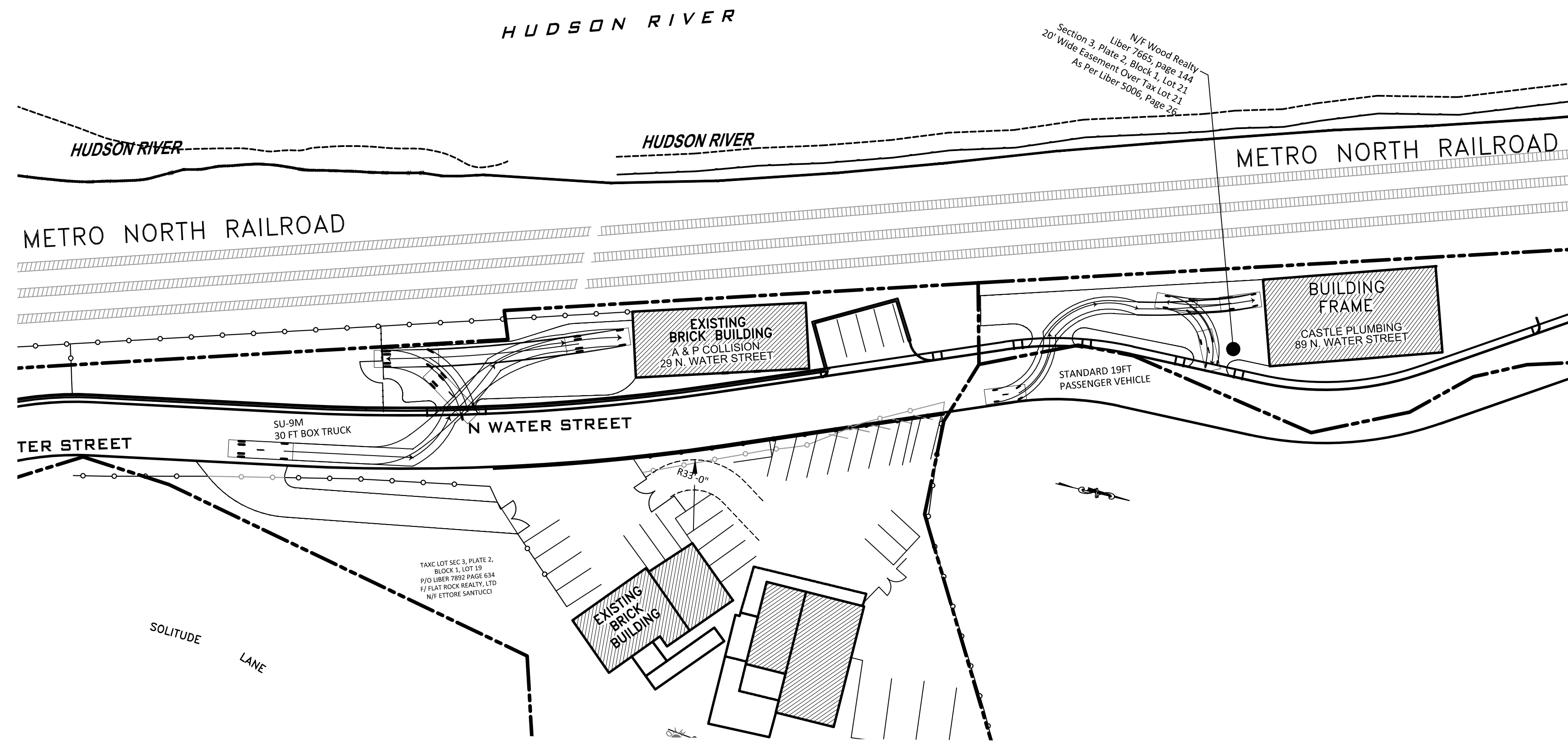


SECTION C-C
SCALE: 1" = 10' - 0"

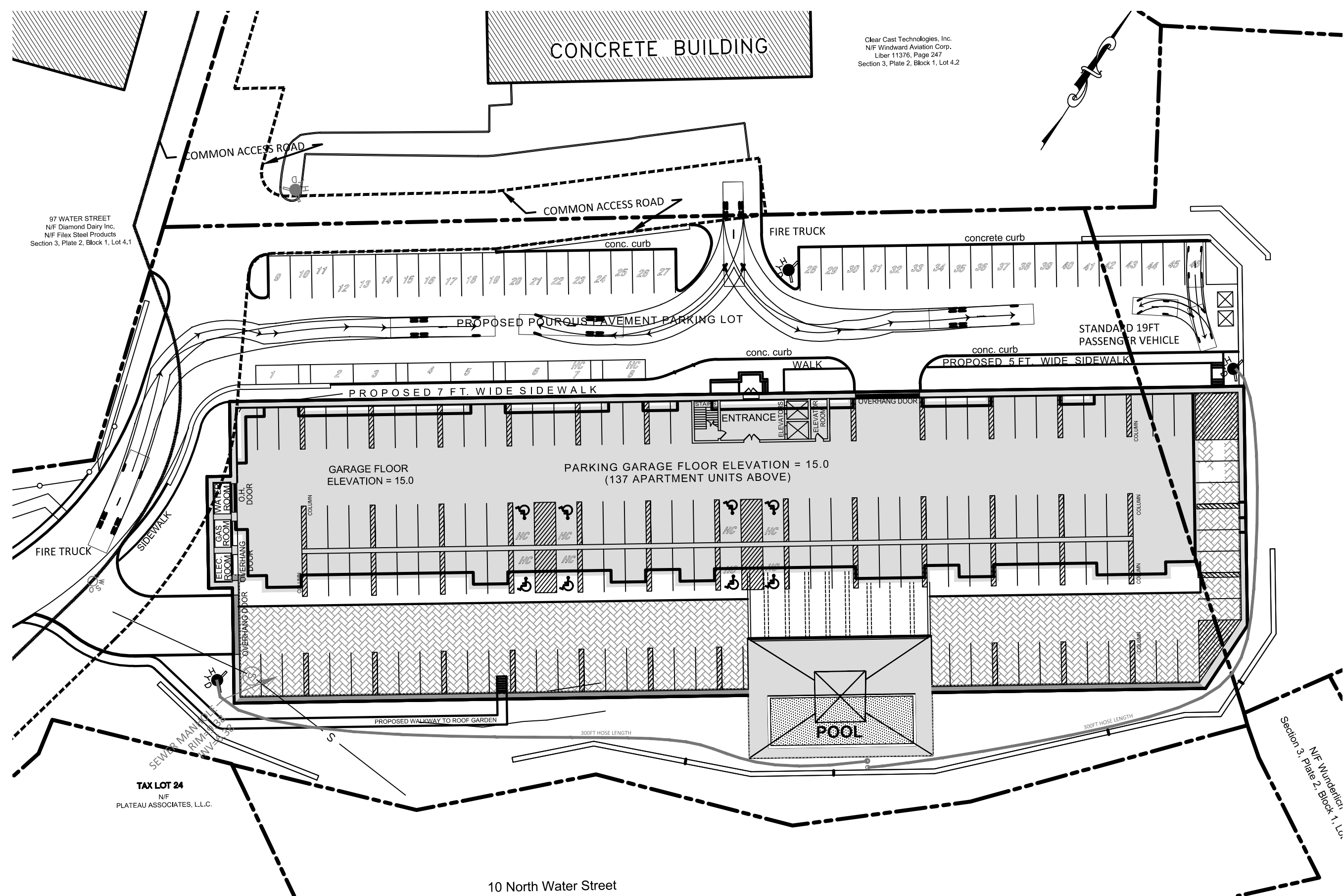
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REVISIONS	DATE:	04.09.18
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05.07.18 06.18.18	DRAWN BY:	SB
	CHECKED BY:	P.B.
600 NORTH BROADWAY, SUITE 215 WHITE PLAINS, NEW YORK 10603 9 1 4 . 9 4 8 . 3 6 2 9 PAUL BERTÉ, P.E.		
PETRUCCELLI ENGINEERING		
OFF-SITE GRADING (STA 875-1500) PLATEAU ASSOCIATES HIDDEN COVE ON THE HUDSON 36 N WATER STREET VILLAGE OF OSSING NEW YORK		
SHEET NO. 24 / 37		



TURNING MOVEMENT FOR EXISTING BUILDINGS
SCALE 1" = 40'

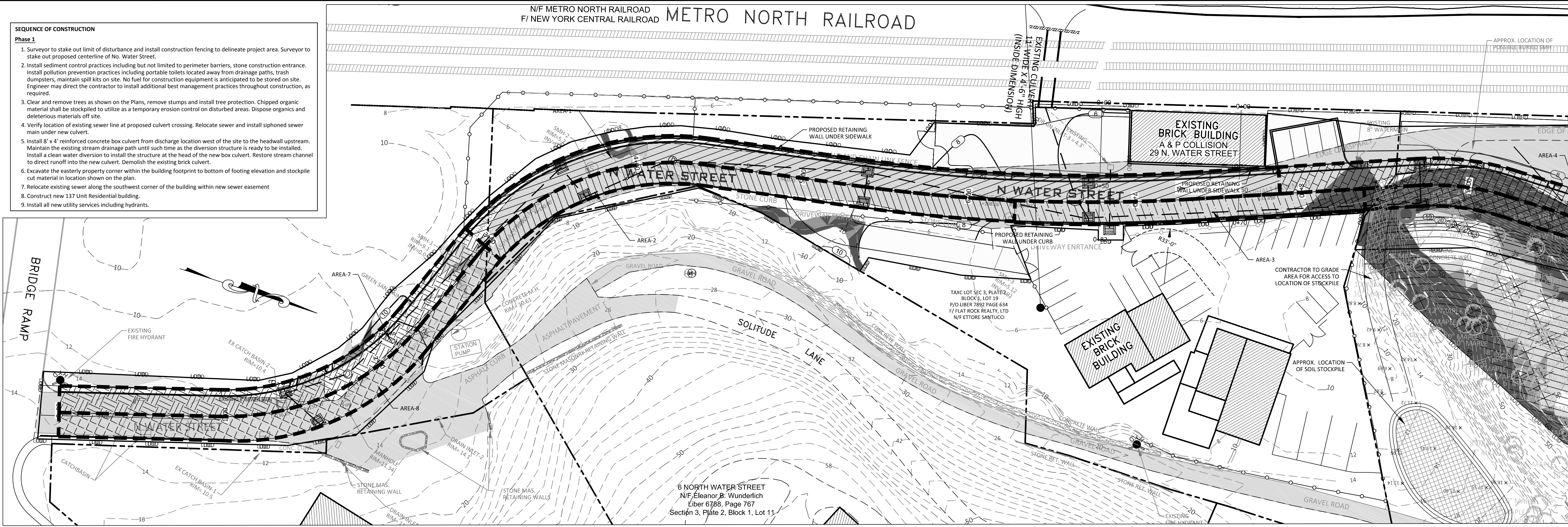


TURNING MOVEMENT FOR PROPOSED BUILDING
SCALE 1" = 40'

NOTE: UNAUTHORIZED ALTERATIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.

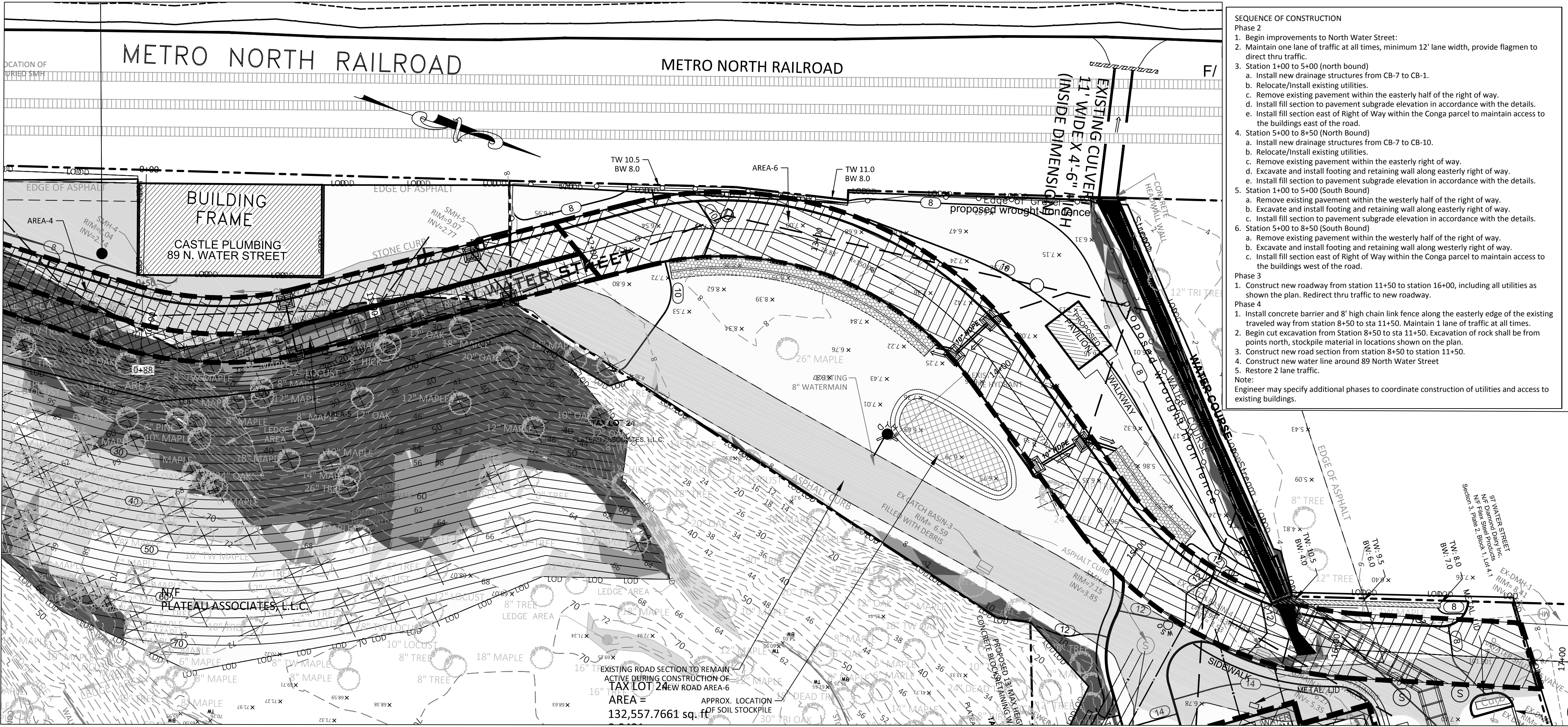
NOTE: THIS PLAN IS NULL AND VOID UNLESS IT BEARS THE ORIGINAL SEAL AND SIGNATURE OF THE ENGINEER.

REVISIONS	DATE: 04-09-18	AS NOTED	CHECKED BY: P.B.
	SCALE: SB		
600 NORTH BROADWAY, SUITE 215 WHITE PLAINS, NEW YORK 10603 914.948.3629 PAUL BERTÉ, P.E.			
PETRUCCELLI ENGINEERING			
TURNING MOVEMENT FOR HIDDEN COVE ON THE HUDSON 36 NORTH WATER STREET VILLAGE OF OSSINING		NEW YORK	
SHEET NO. 25 / 37			

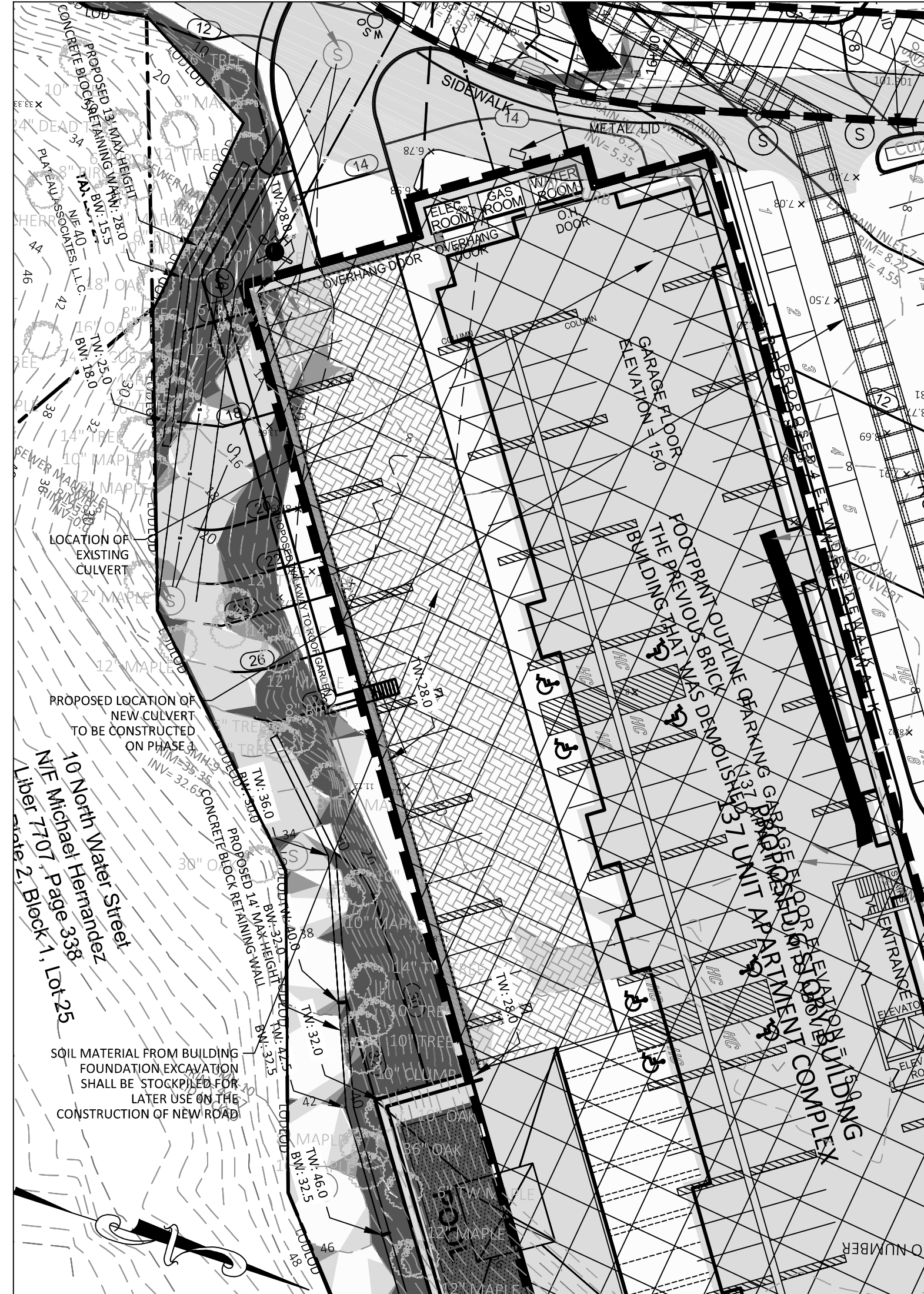


CONSTRUCTION PLAN 0.0 TO STA 900
SCALE: 1"=30'-0"

EROSION CONTROL NOTE:
CONTRACTOR SHALL FOLLOW THE EROSION CONTROL
PLANS FOR INSTALLATION OF THE REQUIRED EROSION
AND SEDIMENT CONTROL DEVICES



CONSTRUCTION PLAN 900 TO STA 1700
SCALE: 1"=30'-0"

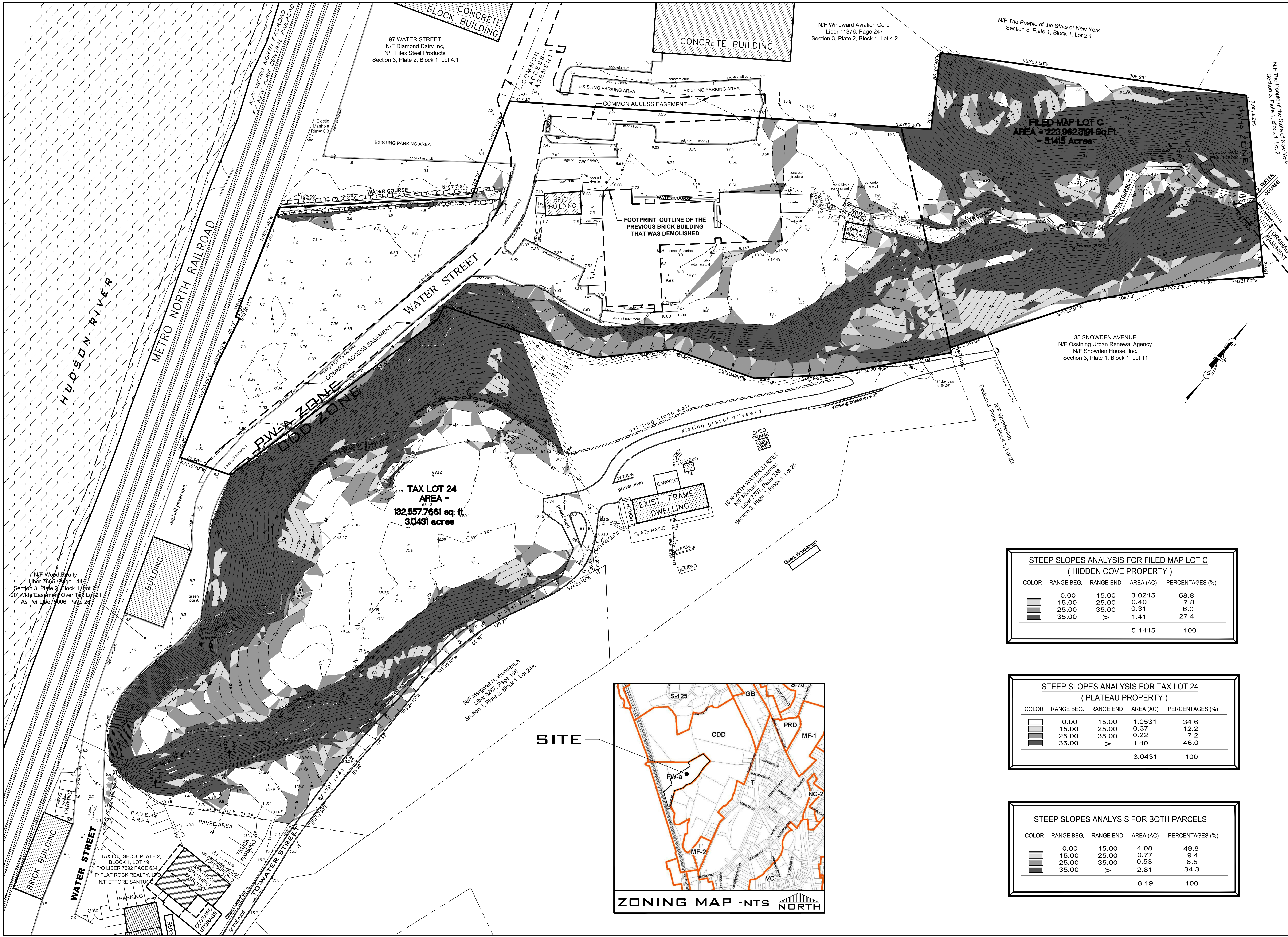


CONSTRUCTION PLAN - PROPOSED BUILDING
SCALE: 1"=30'-0"

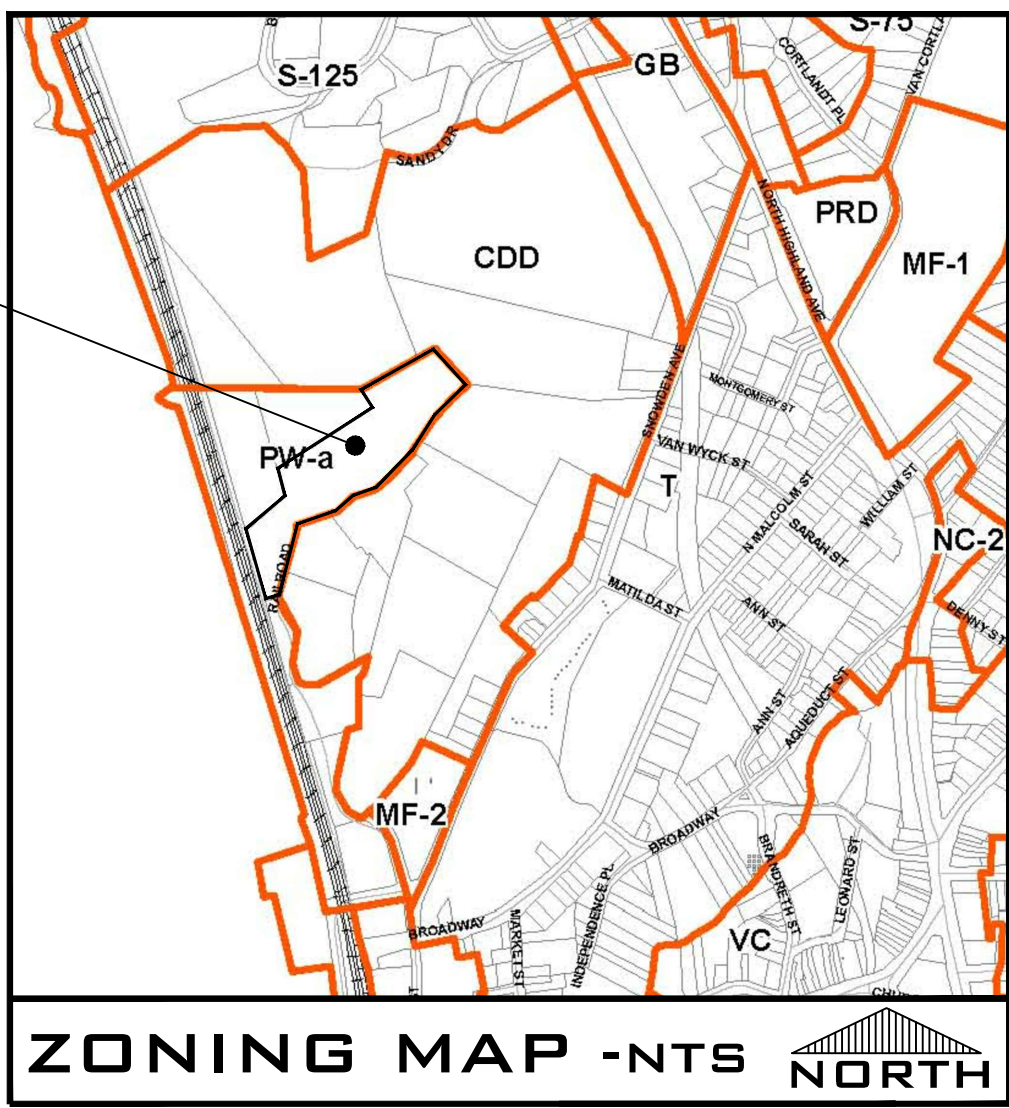
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REVISIONS	DATE: 04.09.18	SCALE: 1" = 30' - 0"	CHECKED BY: SB	P.B.
05.07.18 06.16.18	600 NORTH BROADWAY, SUITE 215 WHITE PLAINS, NEW YORK 10603 9 1 4 . 9 4 8 . 3 6 2 9	PETRUCCELLI ENGINEERING	PAUL BERTÉ, P.E.	
PHASING PLAN				
PLATEAU ASSOCIATES HIDDEN COVE ON THE HUDSON 36 N WATER STREET VILLAGE OF OSSING NEW YORK				
SHEET NO. 26 37				



SITE



STEEP SLOPES ANALYSIS FOR FILED MAP LOT C (HIDDEN COVE PROPERTY)				
COLOR	RANGE BEG.	RANGE END	AREA (AC)	PERCENTAGES (%)
	0.00	15.00	3.0215	58.8
	15.00	25.00	0.40	7.8
	25.00	35.00	0.31	6.0
	35.00	>	1.41	27.4
			5.1415	100

STEEP SLOPES ANALYSIS FOR TAX LOT 24 (PLATEAU PROPERTY)				
COLOR	RANGE BEG.	RANGE END	AREA (AC)	PERCENTAGES (%)
	0.00	15.00	1.0531	34.6
	15.00	25.00	0.37	12.2
	25.00	35.00	0.22	7.2
	35.00	>	1.40	46.0
			3.0431	100

STEEP SLOPES ANALYSIS FOR BOTH PARCELS				
COLOR	RANGE BEG.	RANGE END	AREA (AC)	PERCENTAGES (%)
	0.00	15.00	4.08	49.8
	15.00	25.00	0.77	9.4
	25.00	35.00	0.53	6.5
	35.00	>	2.81	34.3
			8.19	100

JOB NO. 2001

DATE: 04.09.18

SCALE: AS NOTED

DRAWN BY: KMM

CHECKED BY: P.B.

REVISIONS

02.09.07 02:13:17

03.21.08 08:24:17

10.31.08 06:18:18

10.17.12 11:20:12

03.25.13 07:16:13

600 NORTH BROADWAY

WHITE PLAINS, N.Y. 10603

9 1 4 . 9 4 8 . 3 6 2 9

PAUL BERGE, P.E.

PETRUCCELLI

ENGINEERING

STATE OF NEW YORK

PAUL A. BERGER

071859

REGISTERED PROFESSIONAL ENGINEER

EXISTING SLOPES MAP

PLATEAU ASSOCIATES

HIDDEN COVE ON THE HUDSON

36 NORTH WATER STREET

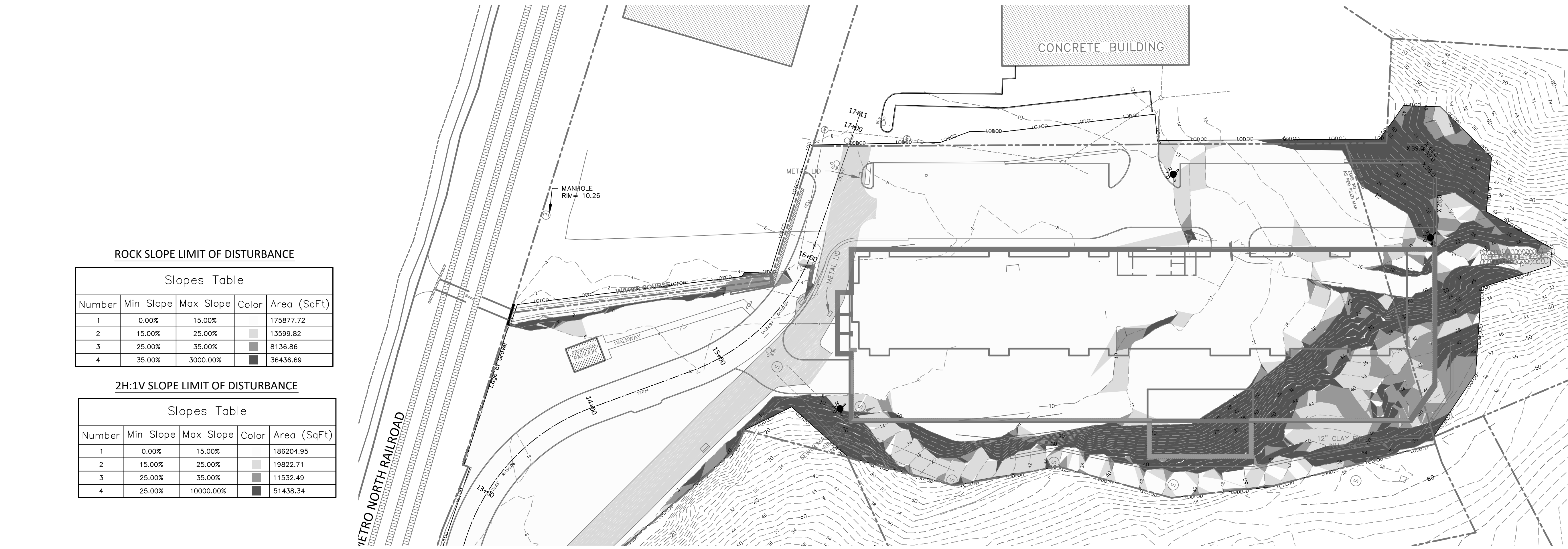
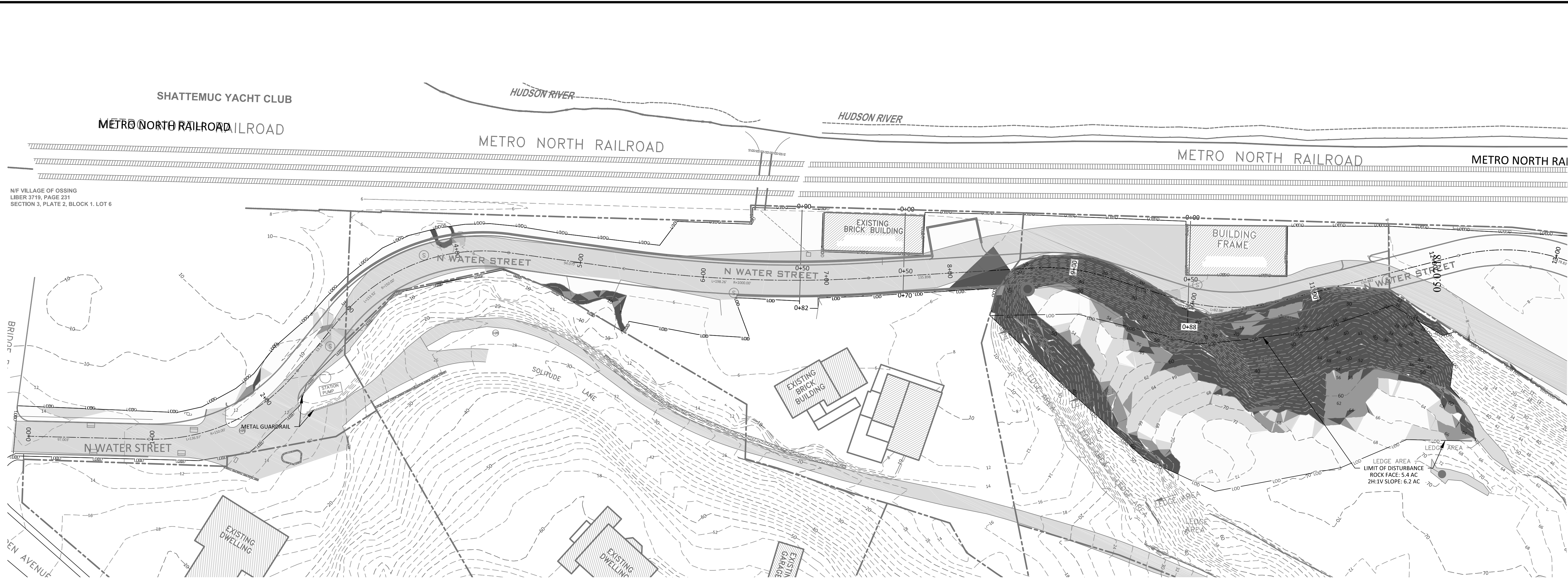
VILLAGE OF OSSINING

NEW YORK

SHEET NO.

28

35



ROCK SLOPE LIMIT OF DISTURBANCE					
Slopes Table					
Number	Min Slope	Max Slope	Color	Area (SqFt)	
1	0.00%	15.00%		175877.72	
2	15.00%	25.00%		13599.82	
3	25.00%	35.00%		8136.86	
4	35.00%	3000.00%		36436.69	

2H:1V SLOPE LIMIT OF DISTURBANCE					
Slopes Table					
Number	Min Slope	Max Slope	Color	Area (SqFt)	
1	0.00%	15.00%		186204.95	
2	15.00%	25.00%		19822.71	
3	25.00%	35.00%		11532.49	
4	25.00%	10000.00%		51438.34	

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DRAWN BY:	SB
CHECKED BY:	P.B.

REVISIONS	05.07.18 06.18.18
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PETRUCCELLI ENGINEERING	600 NORTH BROADWAY, SUITE 215 WHITE PLAINS, NEW YORK 10603 9 1 4 . 9 4 8 . 3 6 2 9 PAUL BERTÉ, P.E.
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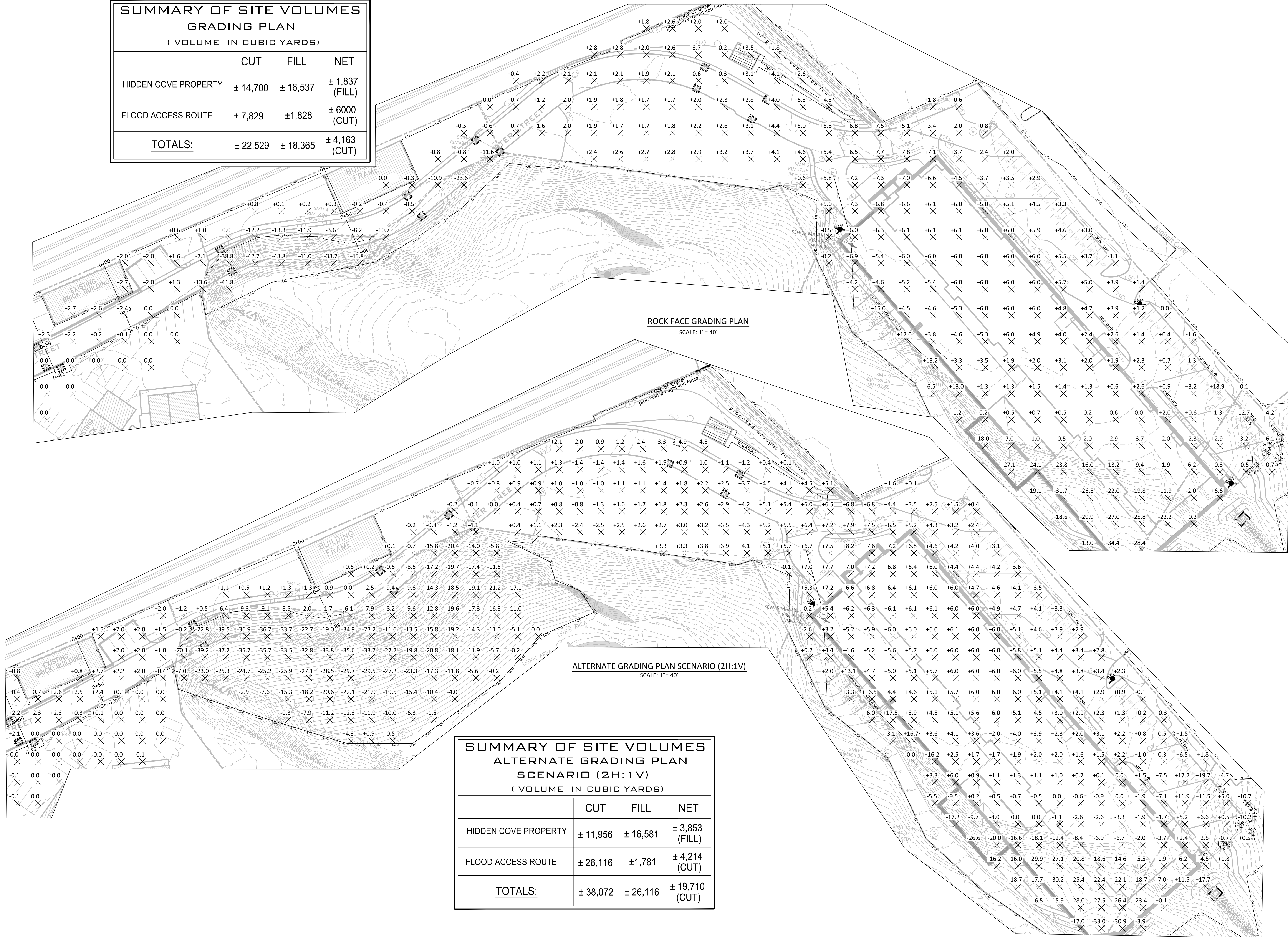
STATE OF NEW YORK PAUL A. BERTÉ 071859 REGISTERED PROFESSIONAL ENGINEER
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SLOPE DISTURBANCE	PLATEAU ASSOCIATES HIDDEN COVE ON THE HUDSON 36 N WATER STREET VILLAGE OF OSSING NEW YORK
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SHEET NO.	29 / 37
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SUMMARY OF SITE VOLUMES
GRADING PLAN
(VOLUME IN CUBIC YARDS)

	CUT	FILL	NET
HIDDEN COVE PROPERTY	± 14,700	± 16,537	± 1,837 (FILL)
FLOOD ACCESS ROUTE	± 7,829	± 1,828	± 6000 (CUT)
TOTALS:	± 22,529	± 18,365	± 4,163 (CUT)



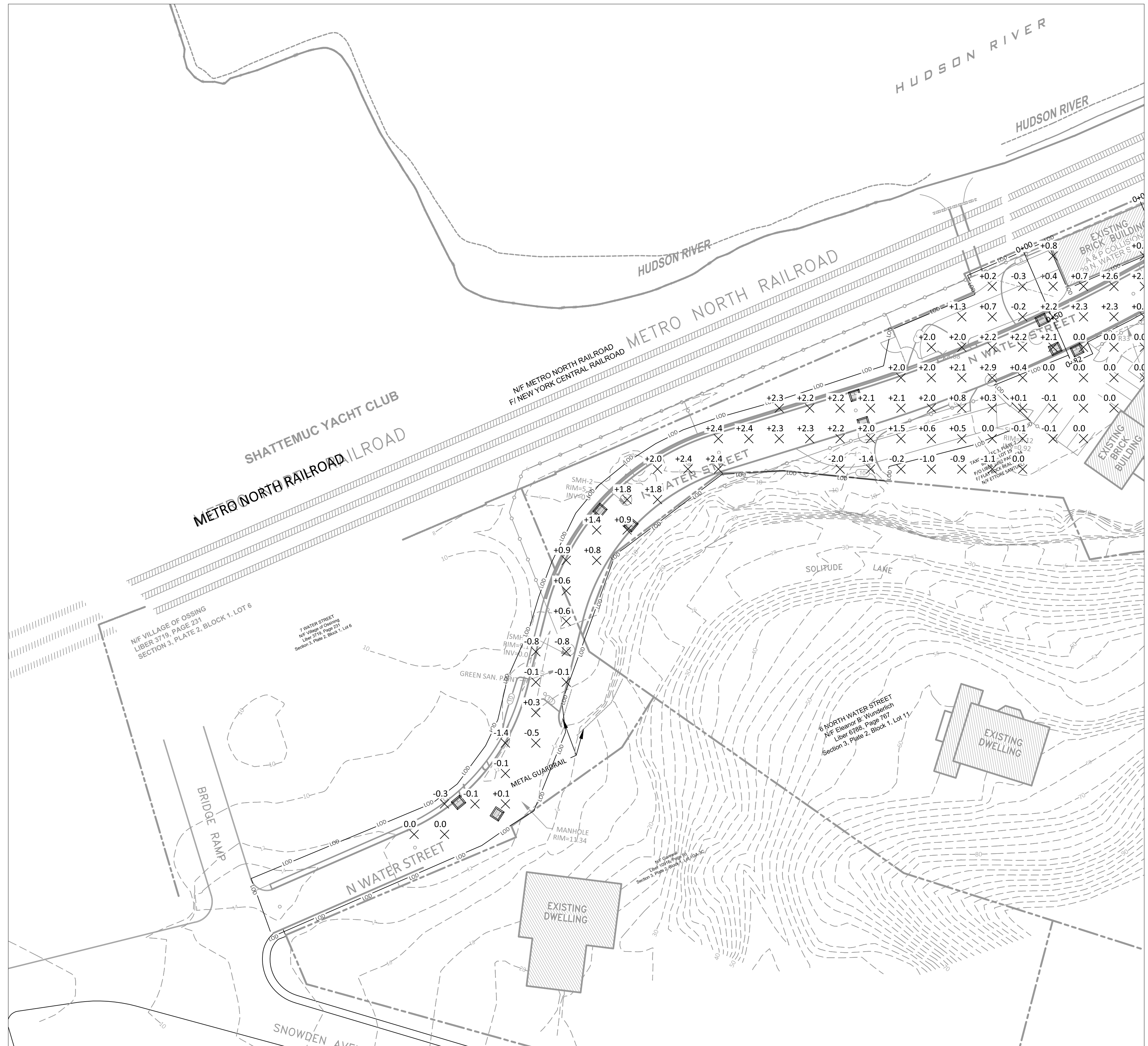
SUMMARY OF SITE VOLUMES
ALTERNATE GRADING PLAN
SCENARIO (2H:1V)
(VOLUME IN CUBIC YARDS)

	CUT	FILL	NET
HIDDEN COVE PROPERTY	± 11,956	± 16,581	± 3,853 (FILL)
FLOOD ACCESS ROUTE	± 26,116	± 1,781	± 4,214 (CUT)
TOTALS:	± 38,072	± 26,116	± 19,710 (CUT)

NOTE: UNAUTHORIZED ALTERATIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.

NOTE: THIS PLAN IS NULL AND VOID UNLESS IT BEARS THE ORIGINAL SEAL AND SIGNATURE OF THE ENGINEER.

REVISIONS	DATE:	04.09.18
	SCALE:	1" = 40' - 0"
DATE:	06.18.18	
	CHECKED BY:	P.B.
600 NORTH BROADWAY, SUITE 215 WHITE PLAINS, NEW YORK 10603 9 1 4 . 9 4 8 . 3 6 2 9 PAUL BERTÉ, P.E.		
PETRUCCELLI ENGINEERING		
SEAL OF THE STATE OF NEW YORK PAUL A. BERTÉ 071859 REGISTERED PROFESSIONAL ENGINEER		
CUT FILL PLAN (1 OF 2)		
PLATEAU ASSOCIATES HIDDEN COVE ON THE HUDSON 36 N WATER STREET VILLAGE OF OSSING NEW YORK		
SHEET NO.		
30 35		



NOTE: UNAUTHORIZED ALTERATIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.

NOTE: THIS PLAN IS NULL AND VOID UNLESS IT BEARS THE ORIGINAL SEAL AND SIGNATURE OF THE ENGINEER.

EROSION LEGEND

- 50 — EXISTING CONTOUR
- 24 — PROPOSED CONTOUR
- 325.3 X EXISTING SPOT ELEVATION
- FLAGGED WETLAND LINE
- 100 YR. FLOOD BOUNDARY LINE
- ADVISORY BASE FLOOD ELEVATION
- ROADWAY CENTER LINE W/ STATION
- PROPOSED RETAINING WALL
- CLEARING & GRADING LIMIT LINE
- PROPOSED CATCH BASIN
- INLET PROTECTION
- SOIL STOCKPILE AREA
- SILT FENCE BARRIER (EROSION CONTROL BARRIER)
- CONCRETE BARRIER W/ REFLECTION

TREE LEGEND

- ≥ 6" DIA. TREE TO BE SAVED
- ≥ 6" TREE TO BE REMOVED (169 TOTAL)
- TREE TO BE PROTECTED W/ CONSTRUCTION FENCE
- 30" Trunk DIA. AND SPECIES

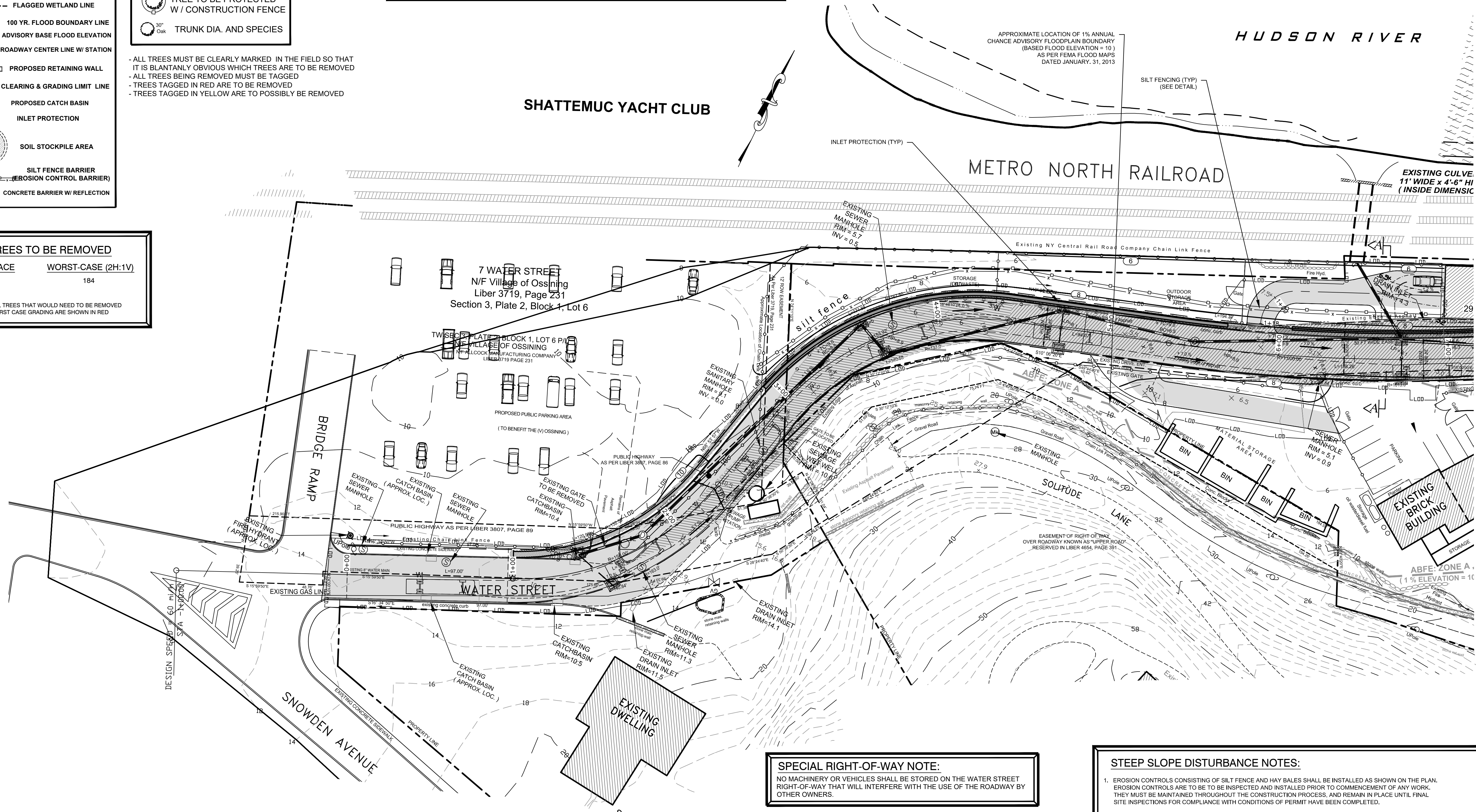
SPECIAL EROSION CONTROL NOTE:

THE MEASURES FOR THE CONTROL OF EROSION AND SEDIMENTATION ARE UNDERTAKEN CONSISTENT WITH THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION "GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL," AS AMENDED, OR ITS EQUIVALENT SATISFACTORY TO THE PLANNING BOARD."

TREES TO BE REMOVED

ROCK FACE	WORST-CASE (2H:1V)
97	184

NOTE: ADDITIONAL TREES THAT WOULD NEED TO BE REMOVED DUE TO WORST CASE GRADING ARE SHOWN IN RED



SPECIAL RIGHT-OF-WAY NOTE:

NO MACHINERY OR VEHICLES SHALL BE STORED ON THE WATER STREET RIGHT-OF-WAY THAT WILL INTERFERE WITH THE USE OF THE ROADWAY BY OTHER OWNERS.

SPECIAL WORK ZONE TRAFFIC CONTROL NOTE:

TO BETTER CONTROL THE TRAFFIC ALONG WATER STREET THE CONTRACTOR MUST SUPPLY FLAG MEN IN THE WORK AREA ON WATER STREET DURING CONSTRUCTION.

STEEP SLOPE DISTURBANCE NOTES:

1. EROSION CONTROLS CONSISTING OF SILT FENCE AND HAY BALES SHALL BE INSTALLED AS SHOWN ON THE PLAN. EROSION CONTROLS ARE TO BE TO BE INSPECTED AND INSTALLED PRIOR TO COMMENCEMENT OF ANY WORK. THEY MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS, AND REMAIN IN PLACE UNTIL FINAL SITE INSPECTIONS FOR COMPLIANCE WITH CONDITIONS OF PERMIT HAVE BEEN COMPLETED.
2. WORK CONDUCTED UNDER A PERMIT SHALL BE OPEN TO INSPECTION DURING DAYLIGHT HOURS, INCLUDING WEEKENDS AND HOLIDAYS, BY THE APPROVING AUTHORITY OR ITS DESIGNATED REPRESENTATIVE.
3. THE PERMIT HOLDER SHALL NOTIFY THE APPROVING AUTHORITY OF THE DATE ON WHICH THE WORK IS TO BEGIN AT LEAST FIVE (5) DAYS IN ADVANCE OF SUCH COMMENCEMENT DATE. THE APPROVED BUILDING PERMIT SHALL BE DISPLAYED AT THE PROJECT SITE DURING THE UNDERTAKING OF THE ACTIVITIES AUTHORIZED BY THE PERMIT. ALL WORK SHALL BE DONE IN ACCORDANCE TO THE STAMPED "APPROVED" SET OF PLANS.

NEW CULVERT INSTALLATION NOTE:

A CLEAN WATER DIVERSION WILL BE INSTALLED DURING CRITICAL INSTALLATION OF THE NEW DRAINAGE STRUCTURE WHICH DIRECTS THE STREAM TO THE NEW BOX CULVERT IN ORDER TO MAINTAIN THE INTEGRITY OF THE CLEAN, OFF-SITE FLOW. THIS DIVERSION WILL CONSIST OF TEMPORARY PIPING OR MECHANICAL PUMPING SYSTEMS TO MINIMIZE TURBIDITY.

SPECIAL DISTURBANCE NOTE:

THE DISTURBANCE OF EXISTING VEGETATIVE GROUND COVER SHALL NOT TAKE PLACE MORE THAN SEVEN DAYS PRIOR TO COMMENCING GRADING AND CONSTRUCTION

GENERAL PERMIT NOTES:

1. INSPECTION OF EROSION CONTROLS BY THE ENGINEER IS REQUIRED PRIOR TO ANY EXCAVATION.
2. ALL DRAINAGE FACILITIES SHALL BE INSPECTED PRIOR TO BACKFILLING BY THE ENGINEER, (FOR ANY PROPOSED SUBSURFACE STORMWATER TREATMENT.)
3. INSPECTION OF SUBSURFACE DRAINAGE SYSTEMS SHALL BE INSPECTED BY THE ENGINEER PRIOR TO BACKFILLING.
4. PUBLIC ROADWAYS SHALL BE PROTECTED FROM MACHINERY AND DEBRIS.
5. ANY CHANGES, ALTERATIONS, AND/OR MODIFICATIONS SHALL BE REVIEWED AND APPROVED BY THE BUILDING INSPECTOR AND/OR ENGINEER, PRIOR TO PERFORMING SUCH WORK.

SPECIAL UNDERGROUND UTILITIES NOTE:

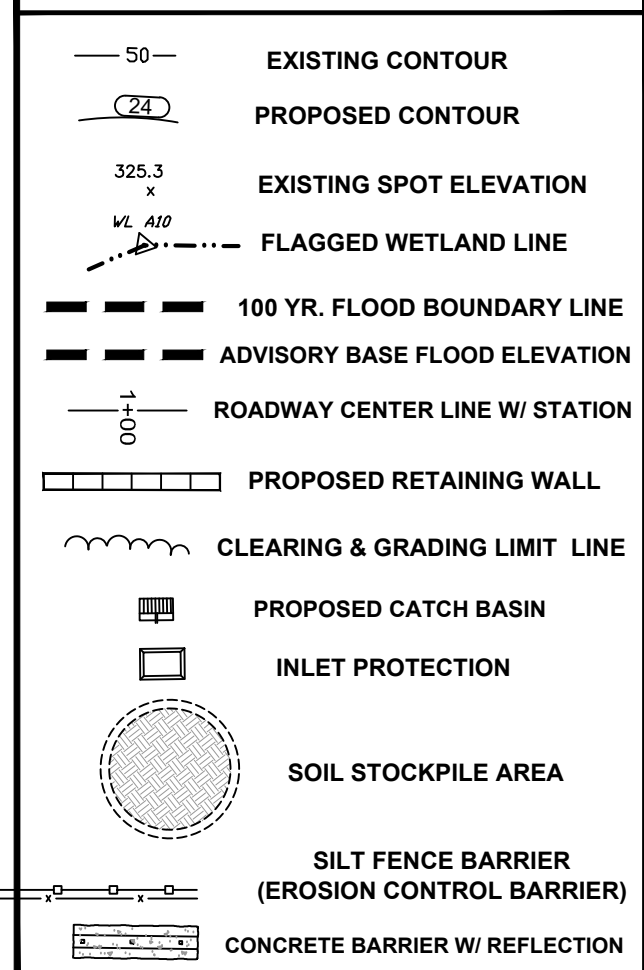
PRIOR TO ANY EXCAVATION ALL UNDERGROUND UTILITIES MUST BE LOCATED. CALL 1-800-962-7962, CODE RULE #753, www.digsafelynewyork.com

VILLAGE OF OSSINING EROSION CONTROL NOTES:

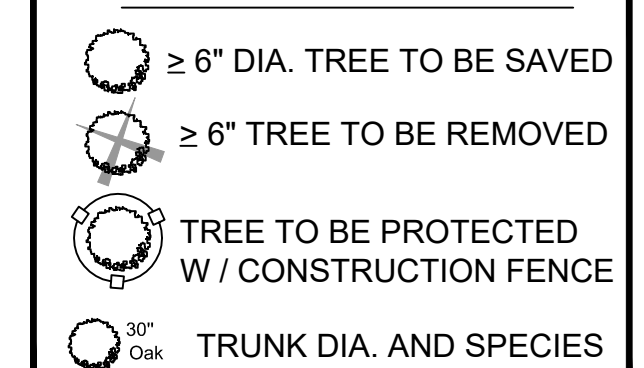
1. THE APPLICANT WILL BE REQUIRED TO CLEAN ROADWAY FROM ALL SILTATION AND CONSTRUCTION DEBRIS AS REQUIRED, AND UPON COMPLETION OF THE WORK.
2. THE APPLICANT WILL BE REQUIRED TO COMPLY WITH ALL APPLICABLE PROVISIONS OF THE "NYS STANDARDS AND STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL."
3. PRIOR TO THE COMMENCEMENT OF ANY DEVELOPMENT ACTIVITY ON ANY PART OF THE SITE, THE BUILDING INSPECTOR, TOWN ARBORIST AND PLANNING BOARD SHALL MEET THE DEVELOPER AND HIS CONSTRUCTION MANAGER TO ENSURE THAT THOSE TREES DESIGNATED TO BE PRESERVED ARE PHYSICALLY IDENTIFIED ON THE SITE SO AS TO BE EASILY RECOGNIZABLE AS TREES TO BE PROTECTED.

JOB NO. 2001	REVISIONS	DATE	DATE	SCALE	CHECKED BY:
	02.09.07 07.10.13 11.21.07 02.13.17 09.11.08 03.31.17 10.31.08 06.28.17 10.17.12 04.09.18 11.20.12 05.07.18 03.25.13 06.18.18	02.09.07 07.10.13 11.21.07 02.13.17 09.11.08 03.31.17 10.31.08 06.28.17 10.17.12 04.09.18 11.20.12 05.07.18 03.25.13 06.18.18	04.09.18	1" = 30' - 0"	SB
PETRUCCELLI ENGINEERING					
600 NORTH BROADWAY, SUITE 215 WHITE PLAINS, N.Y. 10603 9 1 4 . 9 4 8 . 3 6 2 9 PAUL BERTÉ, P.E.					
STATE OF NEW YORK PAUL A. BERTÉ 071859 REGISTERED PROFESSIONAL ENGINEER					
OFF-SITE EROSION (STA 0-700) PLATEAU ASSOCIATES HIDDEN COVE ON THE HUDSON 36 NORTH WATER STREET VILLAGE OF OSSINING NEW YORK					
SHEET NO. 32 37					

EROSION LEGEND



TREE LEGEND



- ALL TREES MUST BE CLEARLY MARKED IN THE FIELD SO THAT IT IS BLANTANLY OBVIOUS WHICH TREES ARE TO BE REMOVED
- ALL TREES BEING REMOVED MUST BE TAGGED
- TREES TAGGED IN RED ARE TO BE REMOVED
- TREES TAGGED IN YELLOW ARE TO POSSIBLY BE REMOVED

TREES TO BE REMOVED

ROCK FACE	WORST-CASE (2H:1V)
97	184

NOTE:
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SPECIAL EROSION CONTROL NOTE:

THE MEASURES FOR THE CONTROL OF EROSION AND SEDIMENTATION ARE UNDERTAKEN CONSISTENT WITH THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION "GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL," AS AMENDED, OR ITS EQUIVALENT SATISFACTORY TO THE PLANNING BOARD."

STEEP SLOPE DISTURBANCE NOTES:

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NEW CULVERT INSTALLATION NOTE:

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SPECIAL DISTURBANCE NOTE:

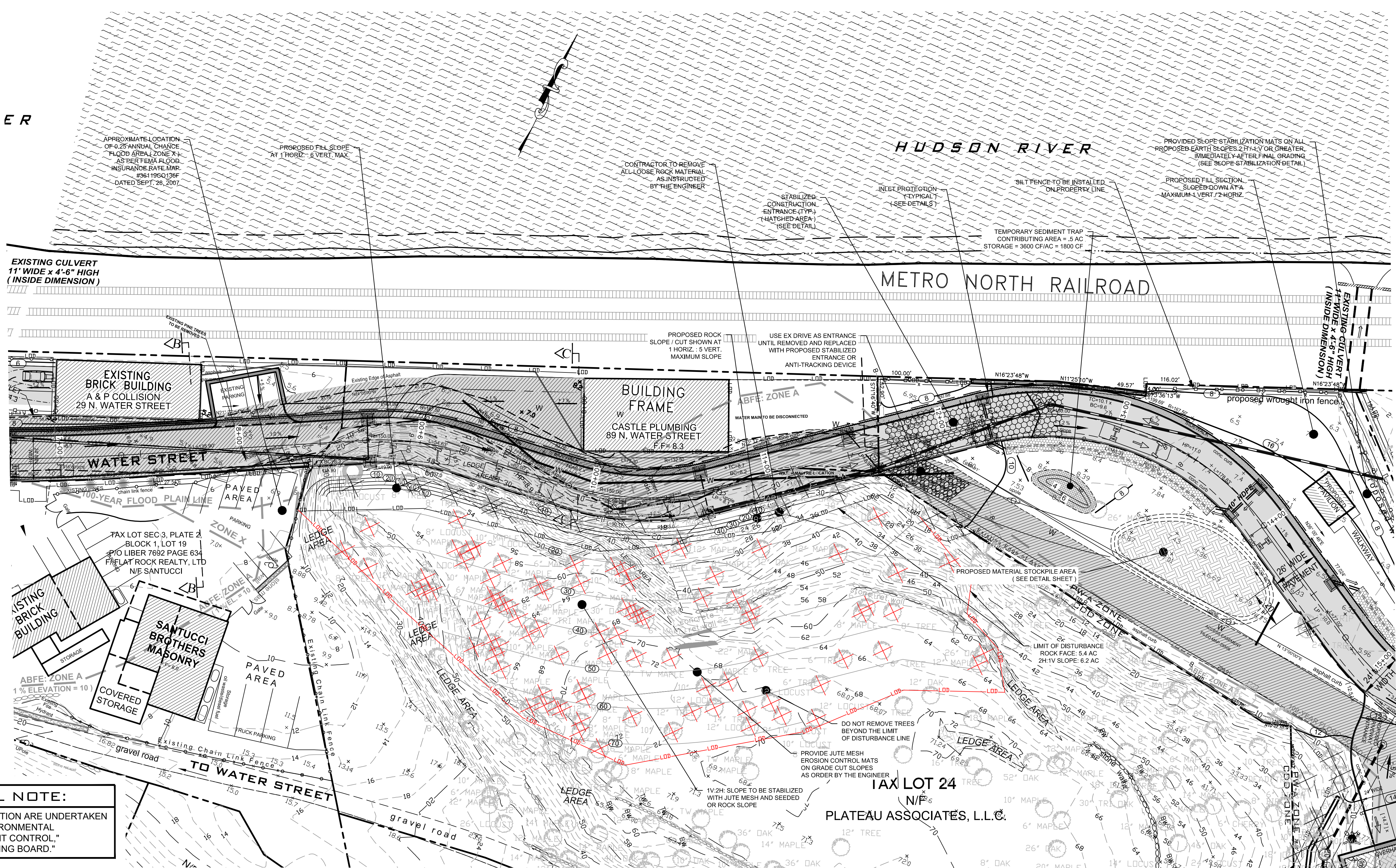
THE DISTURBANCE OF EXISTING VEGETATIVE GROUND COVER SHALL NOT TAKE PLACE MORE THAN SEVEN DAYS PRIOR TO COMMENCING GRADING AND CONSTRUCTION

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REVISIONS	DATE	BY
02.09.07	07.10.13	2001
11.21.07	02.13.17	04.09.18
09.11.08	03.31.17	SCALE: 1" = 30' - 0"
10.31.08	06.28.17	DRAWN BY: SB
10.17.12	04.09.18	CHECKED BY: P.B.
11.20.12	05.07.18	
03.25.13		

PETRUCCELLI
ENGINEERING
600 NORTH BROADWAY, SUITE 215
WHITE PLAINS, N.Y. 10603
9 1 4 . 9 4 8 . 3 6 2 9
PAUL BERTIE, P.E.

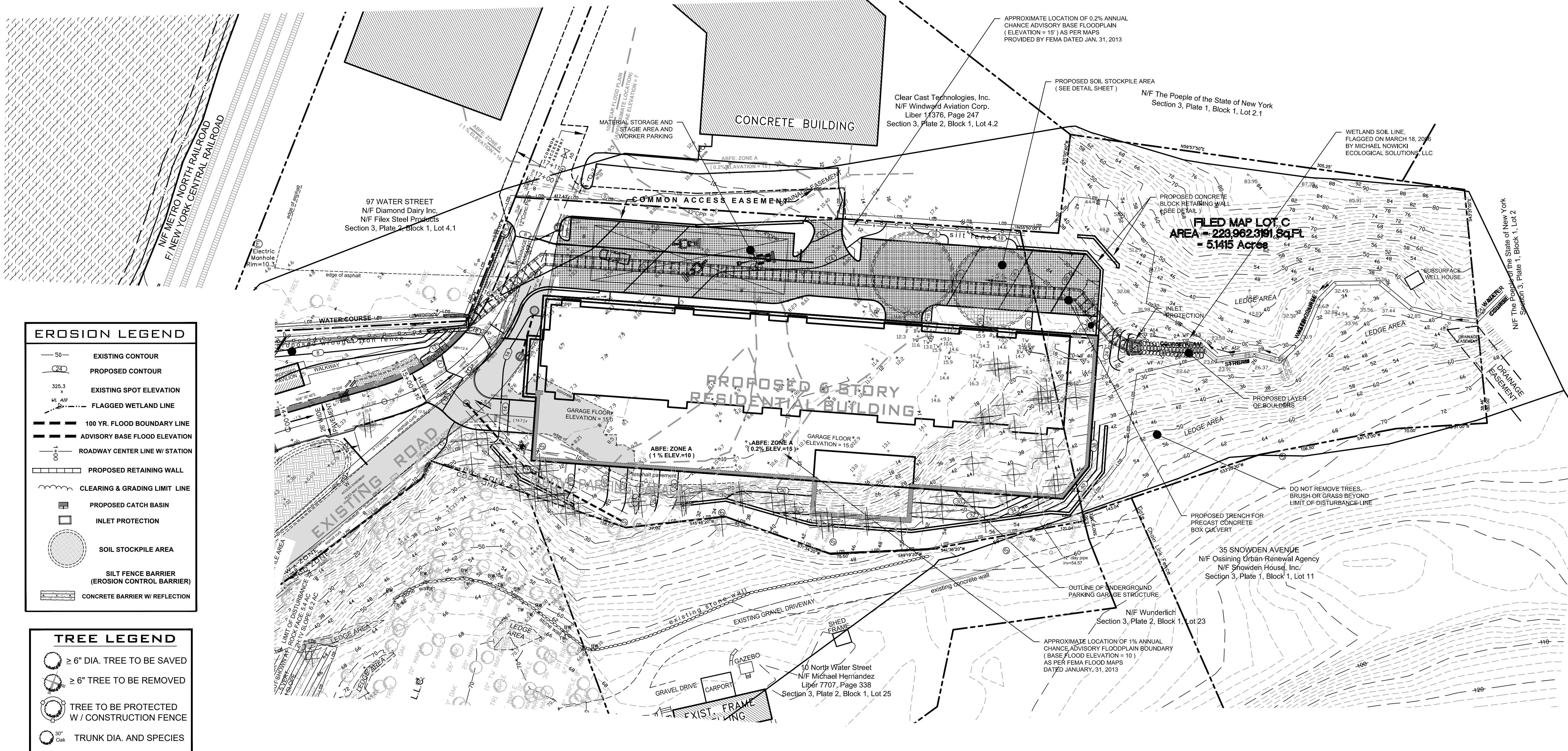


OFF-SITE EROSION (STA 700-1400)
PLATEAU ASSOCIATES
HIDDEN COVE ON THE HUDSON
36 NORTH WATER STREET
VILLAGE OF OSSINING
NEW YORK

SHEET NO.

33
37

NOTE: THIS PLAN IS NULL AND VOID UNLESS IT BEARS THE ORIGINAL SEAL AND SIGNATURE OF THE ENGINEER.



EROSION LEGEND

- 50 — EXISTING CONTOUR
- 24 — PROPOSED CONTOUR
- 325.3' EXISTING SPOT ELEVATION
- VL A10 FLAGGED WETLAND LINE
- 100 YR. FLOOD BOUNDARY LINE
- ADVISORY BASE FLOOD ELEVATION
- 00+1 ROADWAY CENTER LINE W/ STATION
- PROPOSED RETAINING WALL
- CLEARING & GRADING LIMIT LINE
- PROPOSED CATCH BASIN
- INLET PROTECTION
- SOIL STOCKPILE AREA
- SILT FENCE BARRIER (EROSION CONTROL BARRIER)
- CONCRETE BARRIER W/ REFLECTION

TREE LEGEND

- ≥ 6" DIA. TREE TO BE SAVED
- ≥ 6" TREE TO BE REMOVED
- TREE TO BE PROTECTED W/ CONSTRUCTION FENCE
- 30" Trunk DIA. AND SPECIES

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TREES TO BE REMOVED

ROCK FACE	WORST-CASE (2H:1V)
97	184

NOTE: ADDITIONAL TREES THAT WOULD NEED TO BE REMOVED DUE TO WORST CASE GRADING ARE SHOWN IN RED

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REVISIONS	DATE	BY
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10.31.08	06.28.17	SB
10.17.12	04.09.18	SB
11.20.12	05.07.18	SB
03.25.13	06.18.18	P.B.

PETRUCCELLI ENGINEERING

600 NORTH BROADWAY, SUITE 215
WHITE PLAINS, N.Y. 10603
9 1 4 . 9 4 8 . 3 6 2 9

PAUL BERTÉ, P.E.



EROSION CONTROL PLAN

PLATEAU ASSOCIATES

HIDDEN COVE ON THE HUDSON

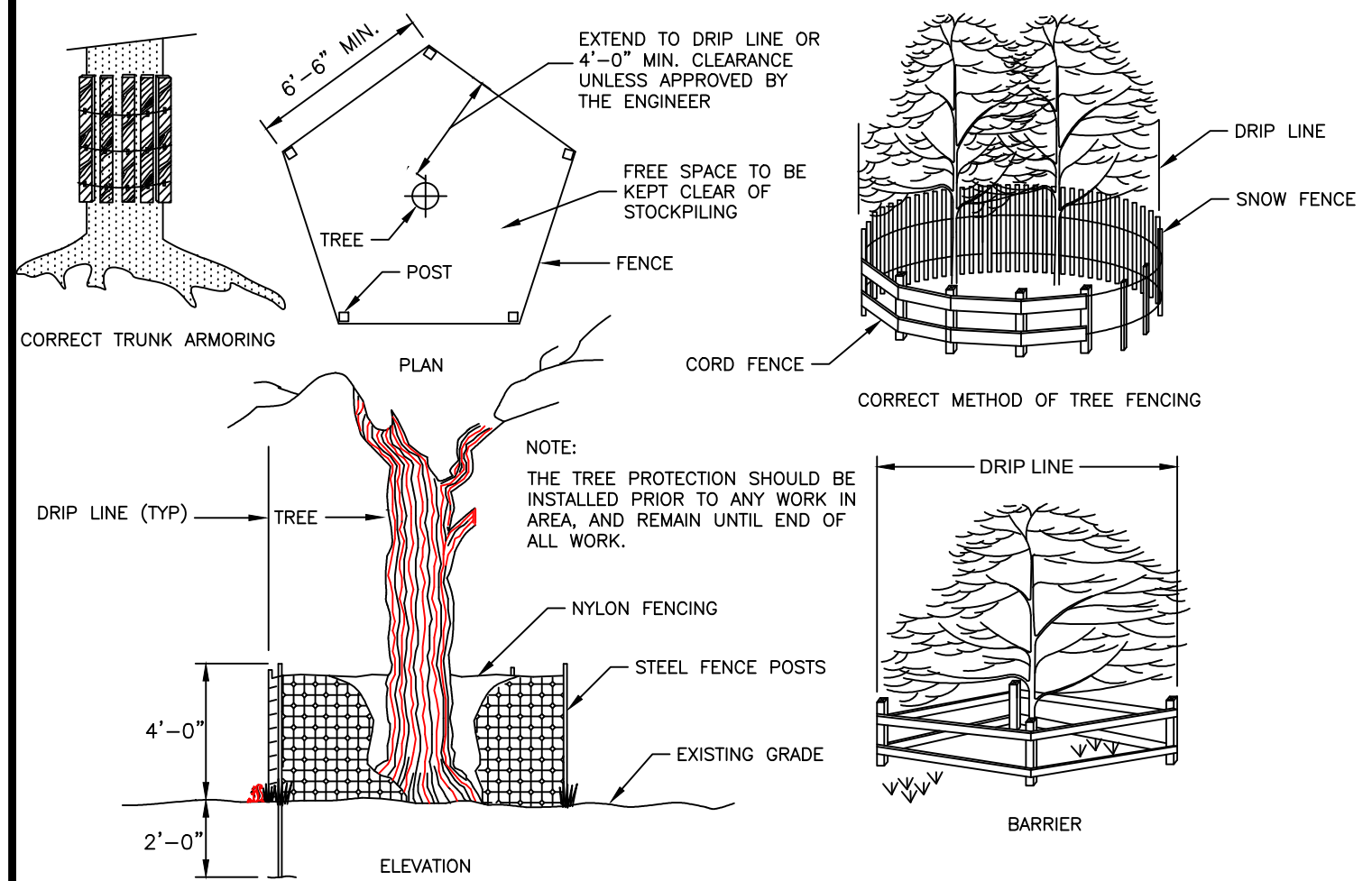
36 NORTH WATER STREET

VILLAGE OF OSSINING

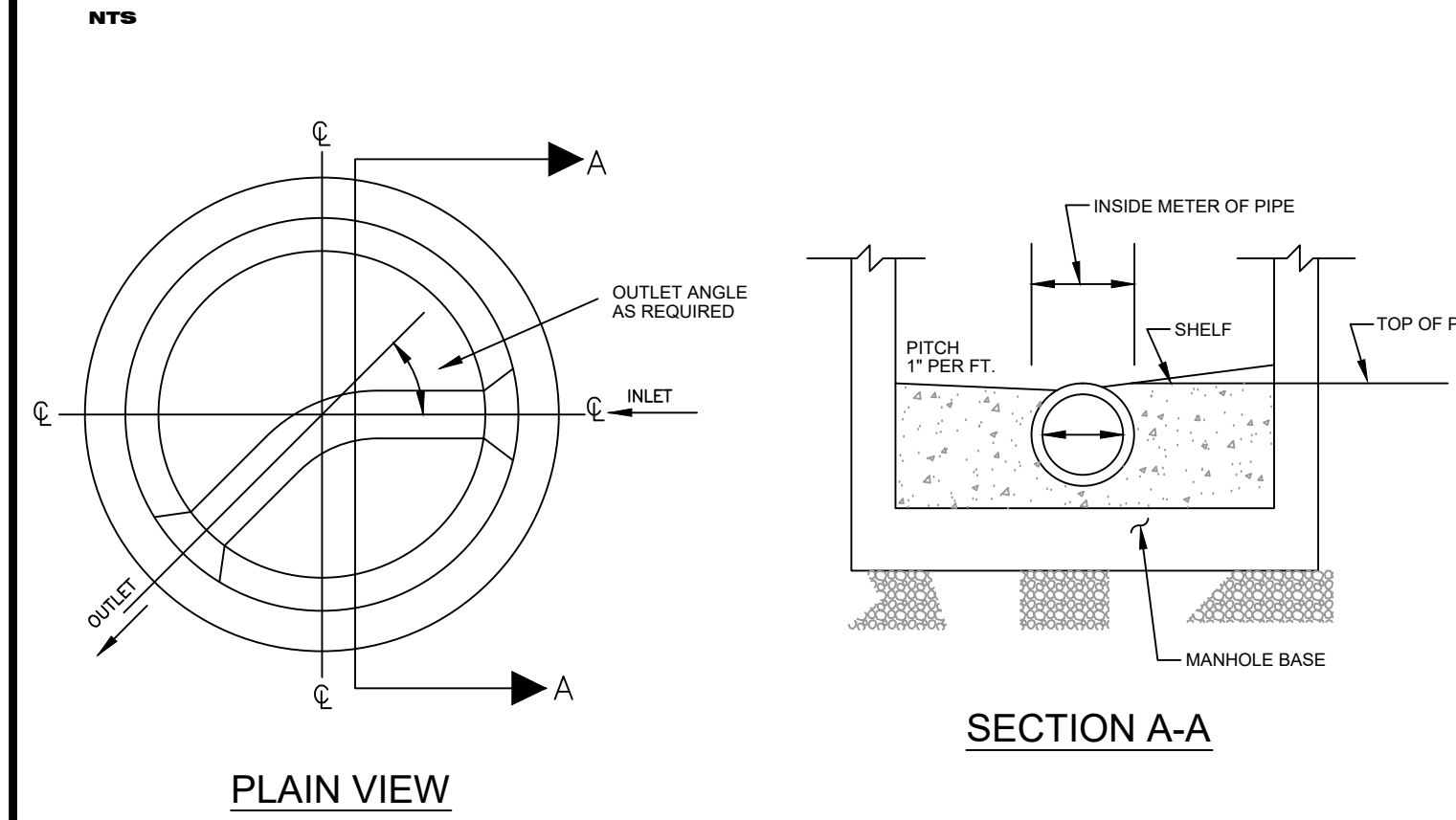
NEW YORK

SHEET NO.

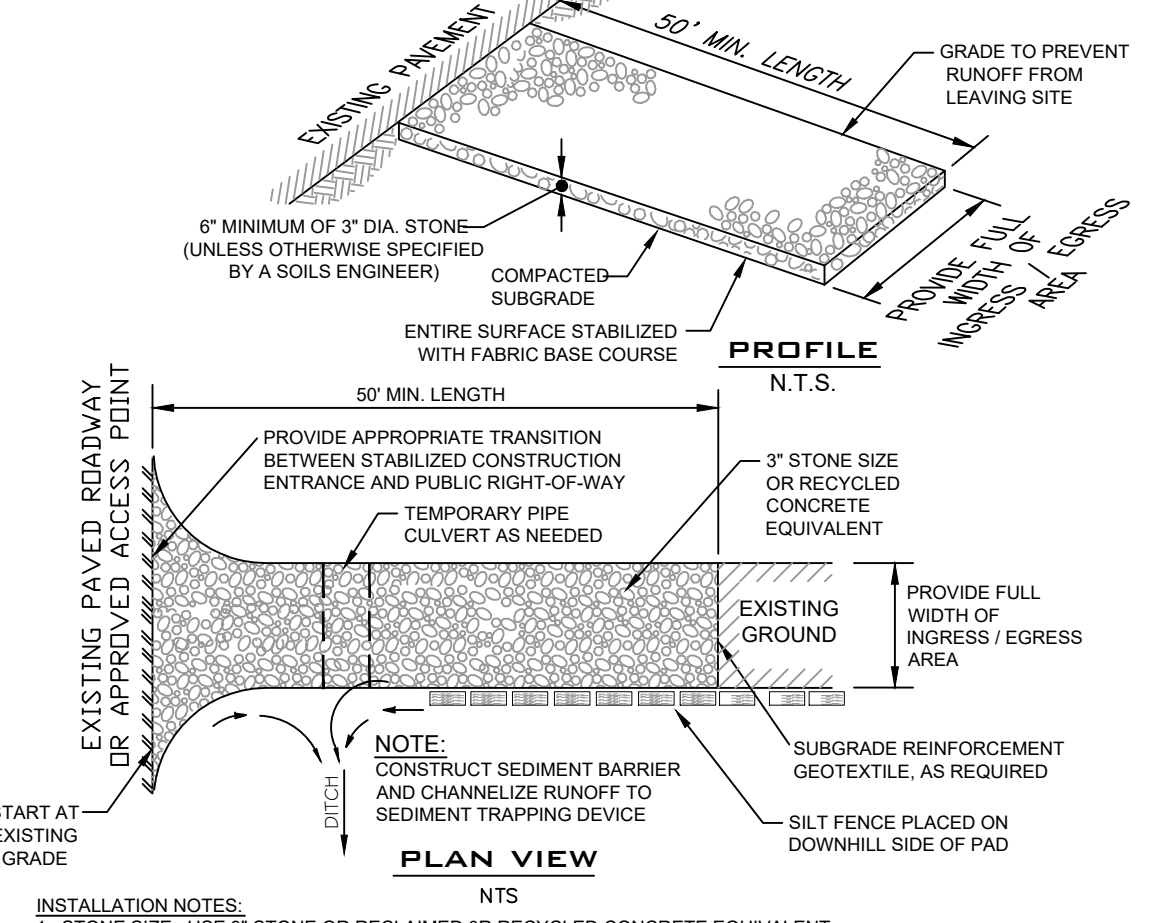
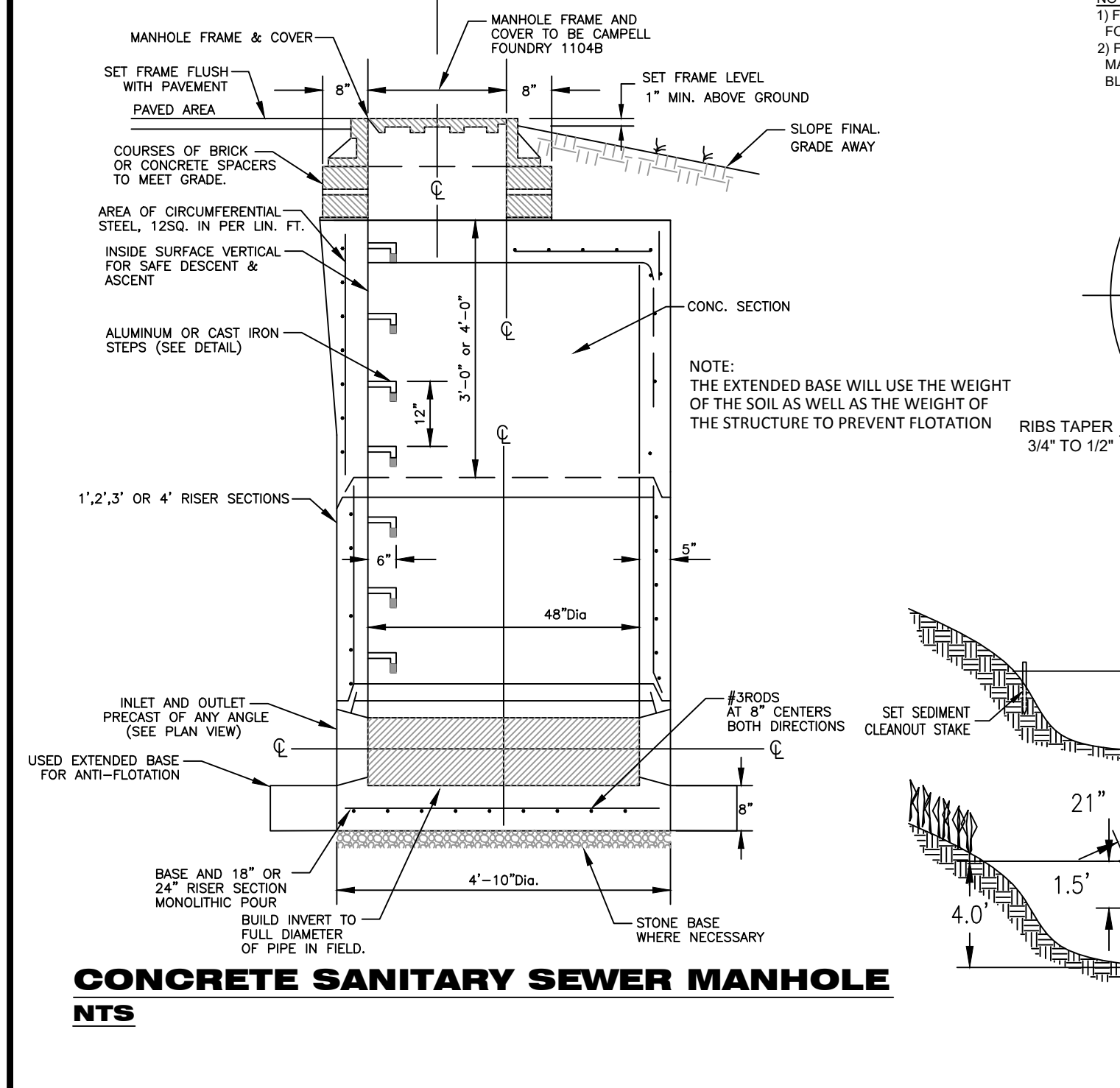
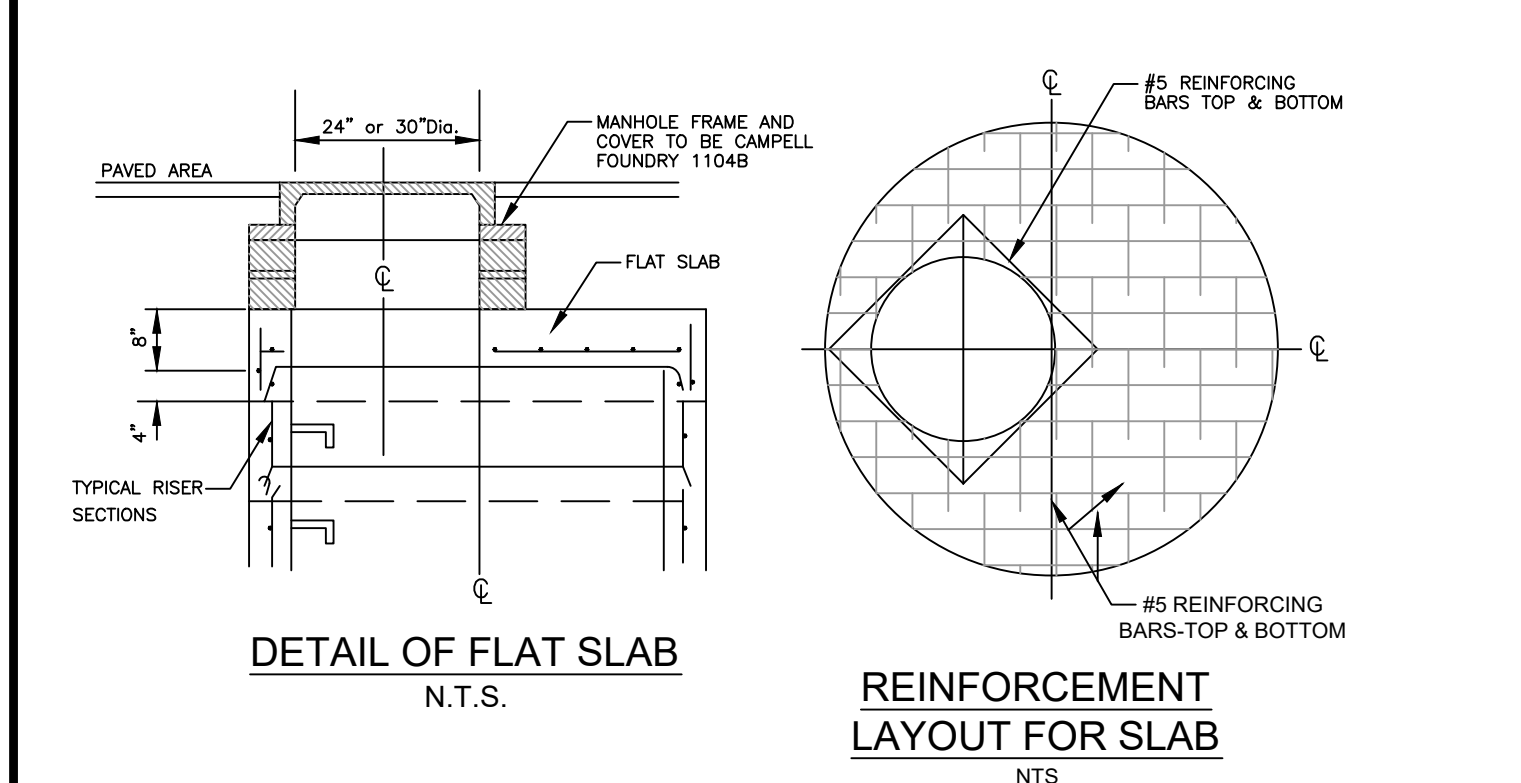
34 / 37



TREE/VEGETATION PROTECTION BARRIER

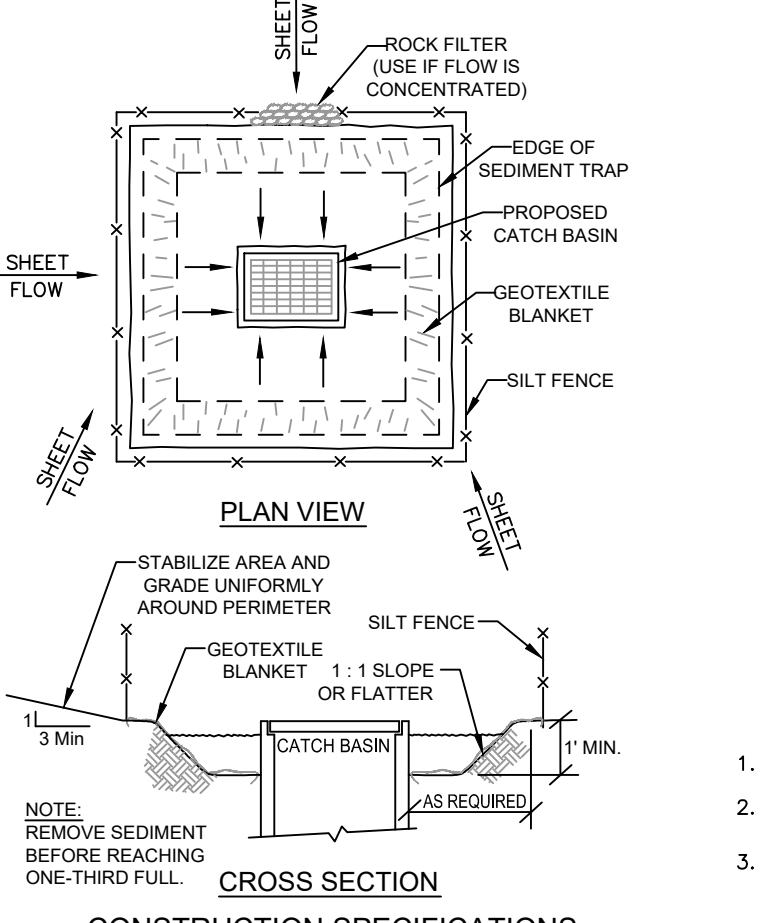
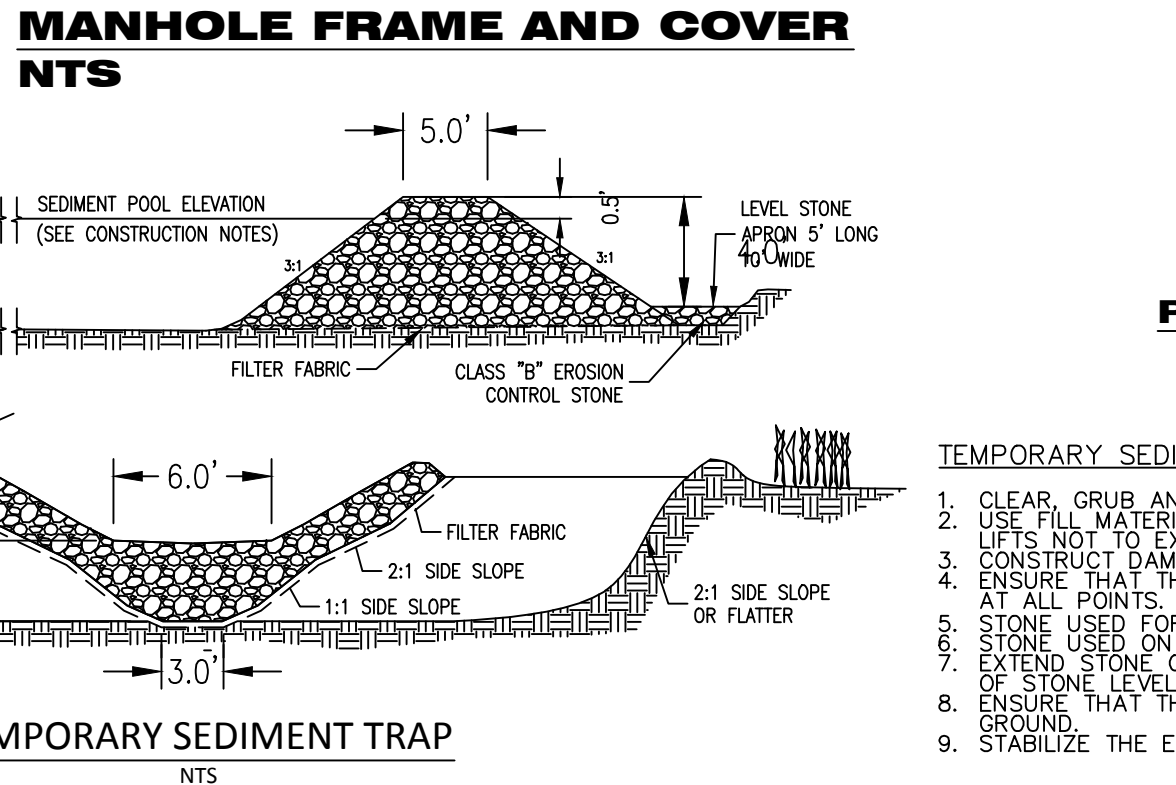
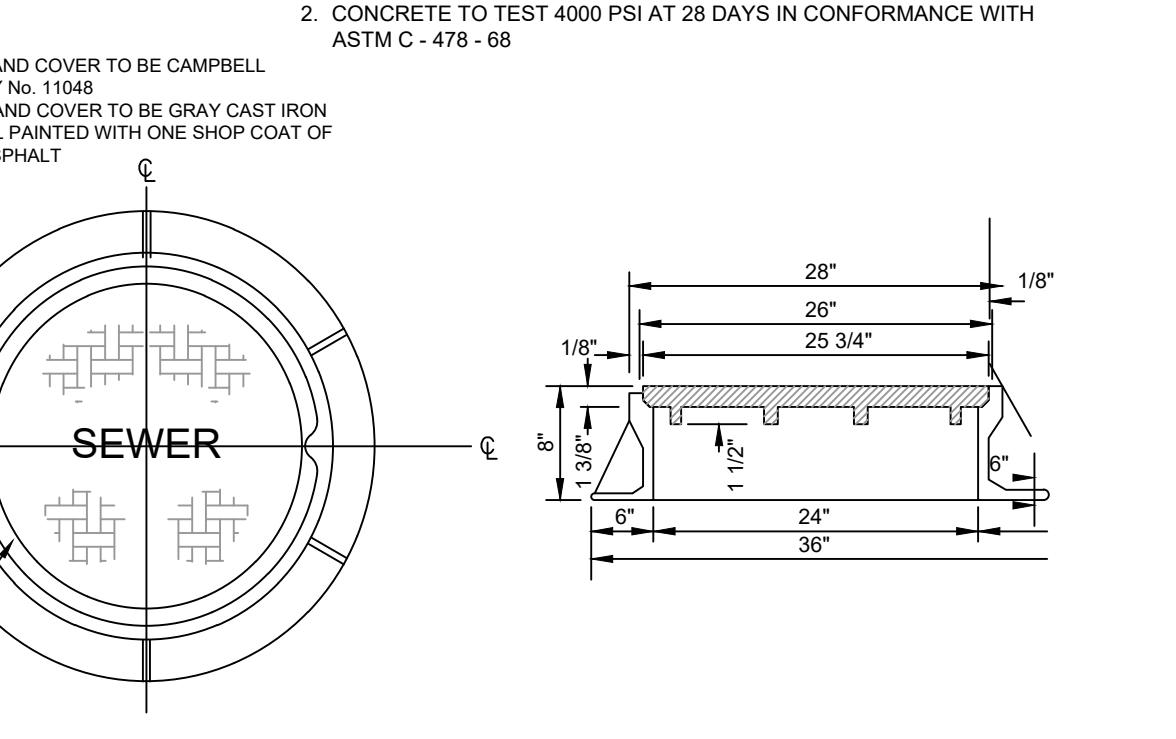
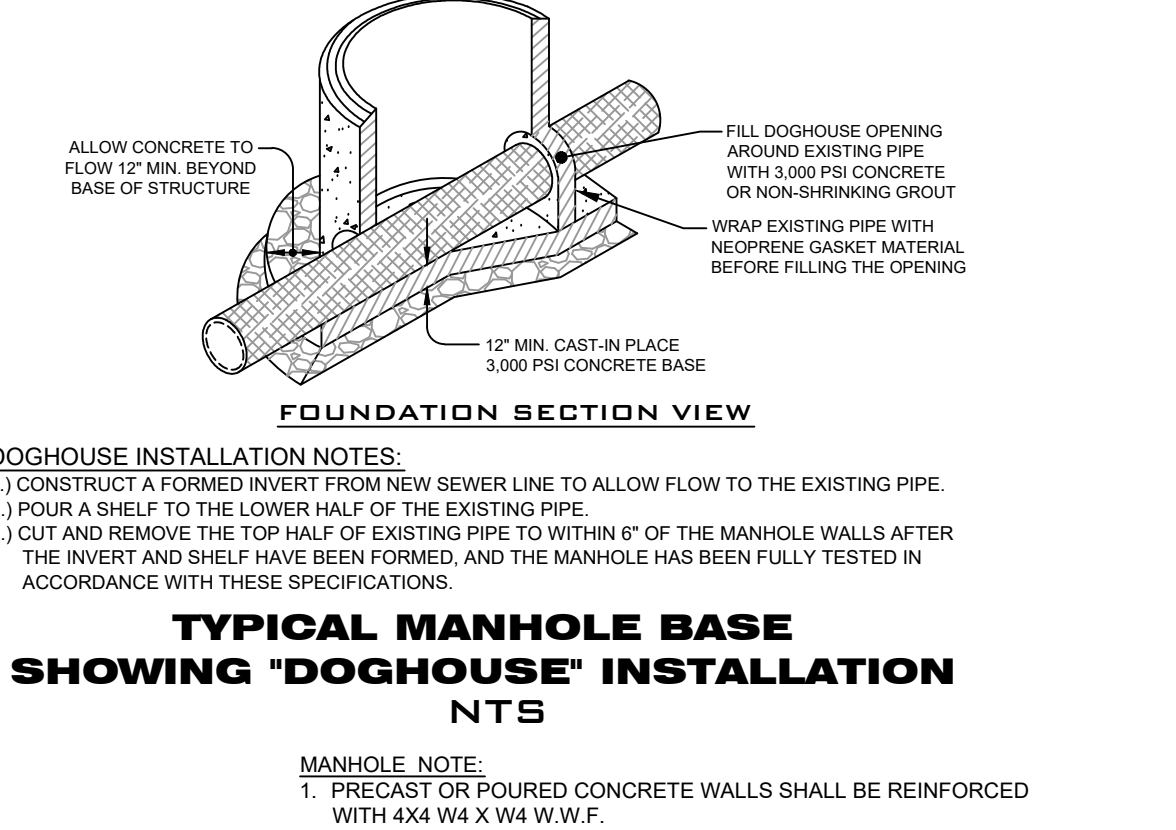
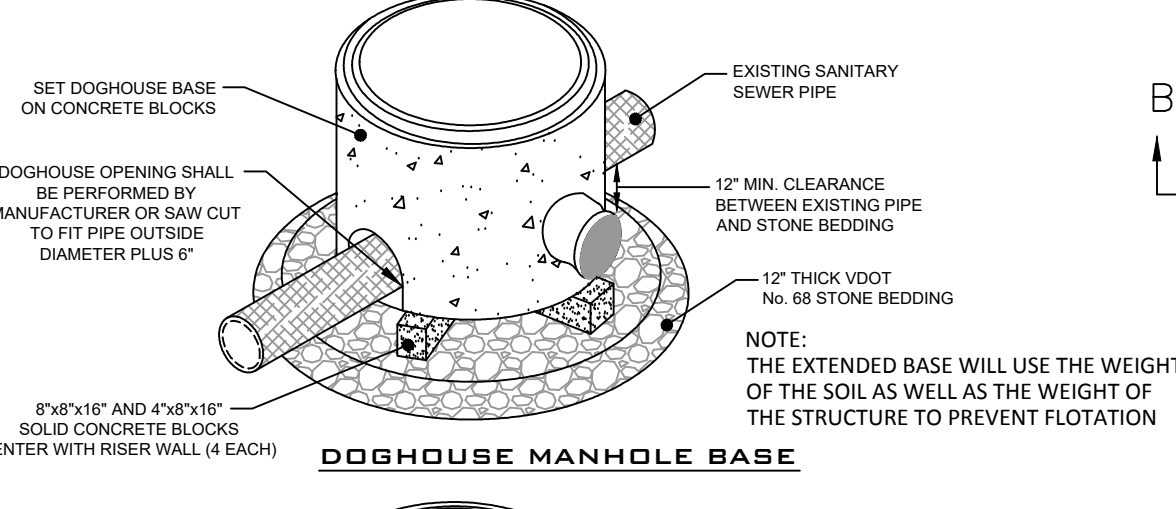


DETAIL OF SEWER MANHOLE TRENCH



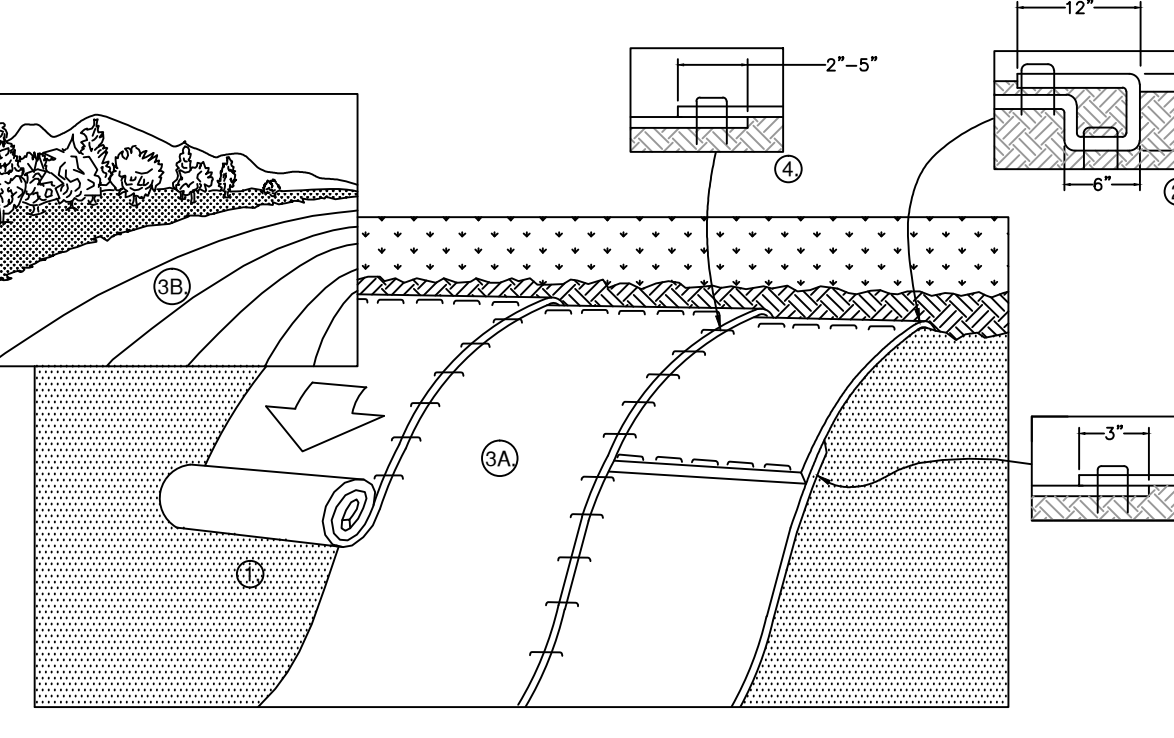
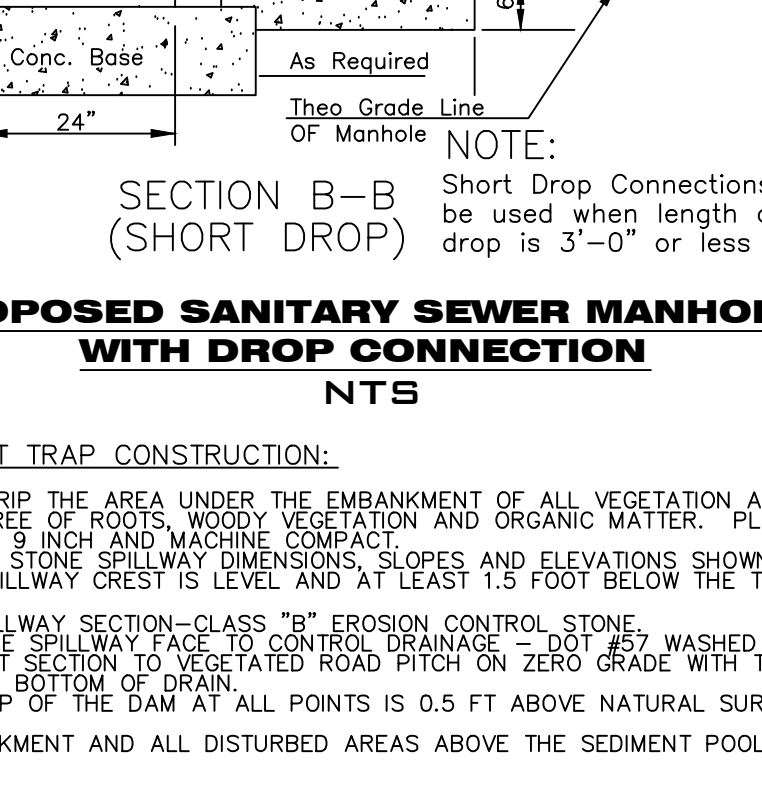
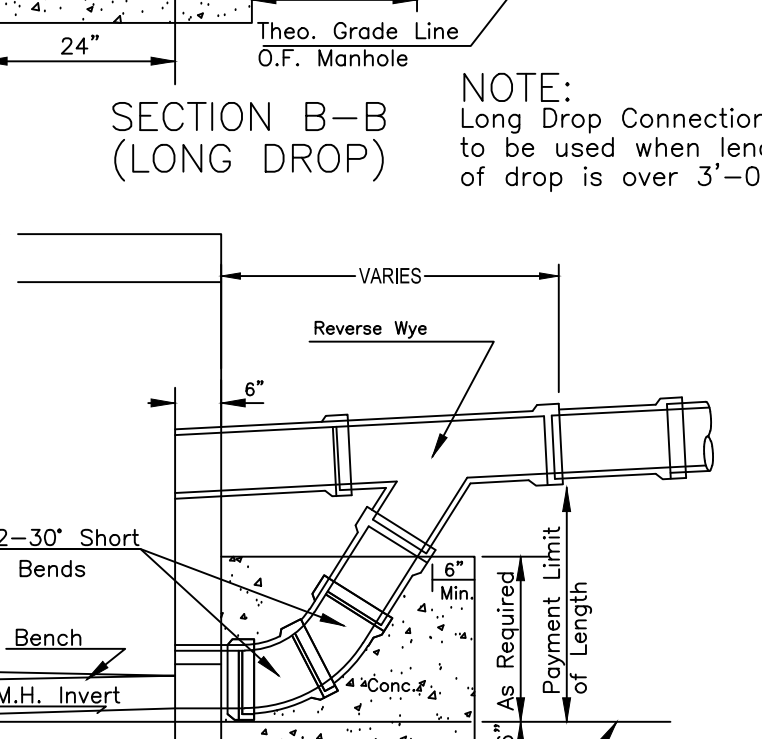
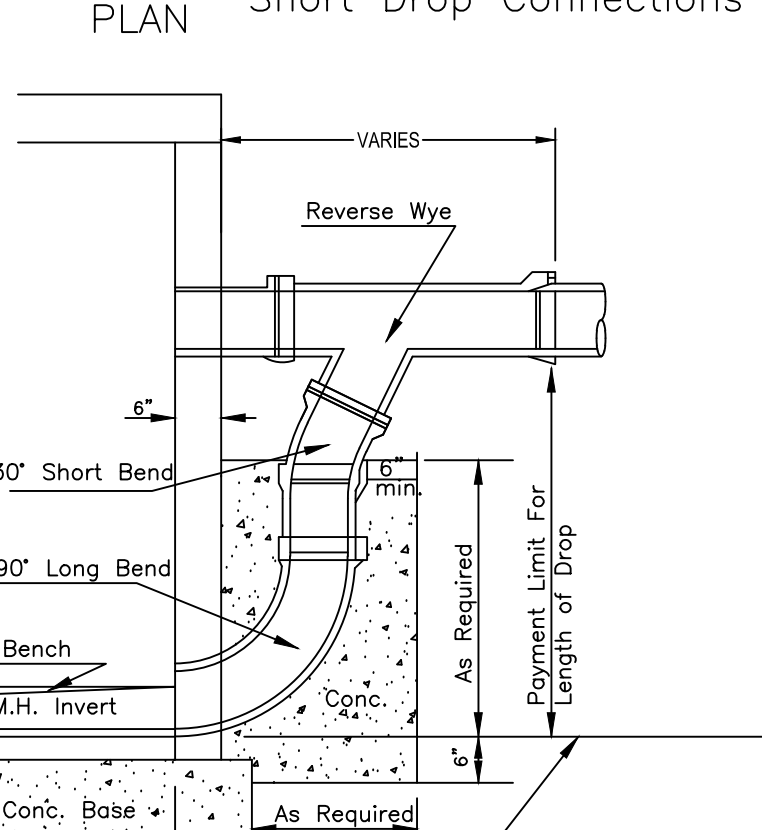
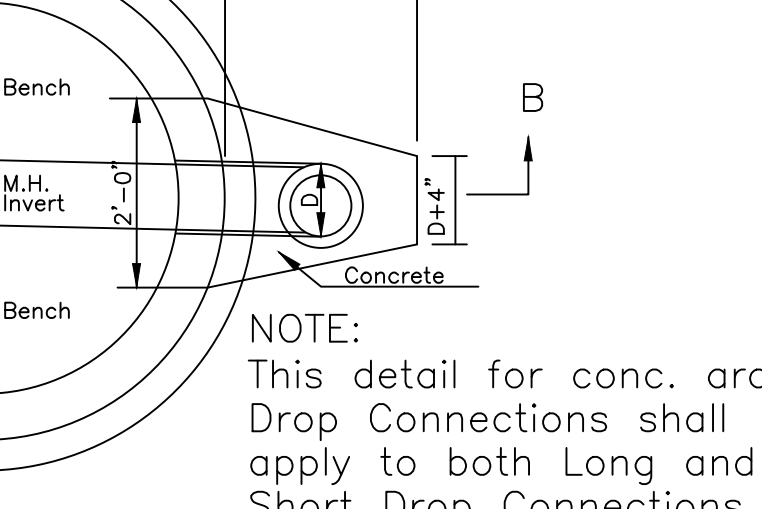
INSTALLATION NOTES:
1. STONE SIZE: USE 3" STONE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH: NOT LESS THAN 50 FEET
3. THICKNESS: NOT LESS THAN SIX (6) INCHES
4. 12' FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WITHIN THE INGRESS OR EGRESS OCCUR.
5. FILTER CLOTH: WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER: ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPIED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH A 5:1 SLOPE WILL BE PERMITTED.
7. MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING: WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.
10. PLACE THE ANTI-TRACKING PAD ON THE SITE AT THE VEHICLE EXIST LOCATION SO THAT ALL VEHICLES LEAVING THE SITE MUST PASS OVER THE PAD BEFORE ENTERING THE PUBLIC ROAD.

ANTI-TRACKING DEVICE OR STABILIZED CONSTRUCTION ENTRANCE



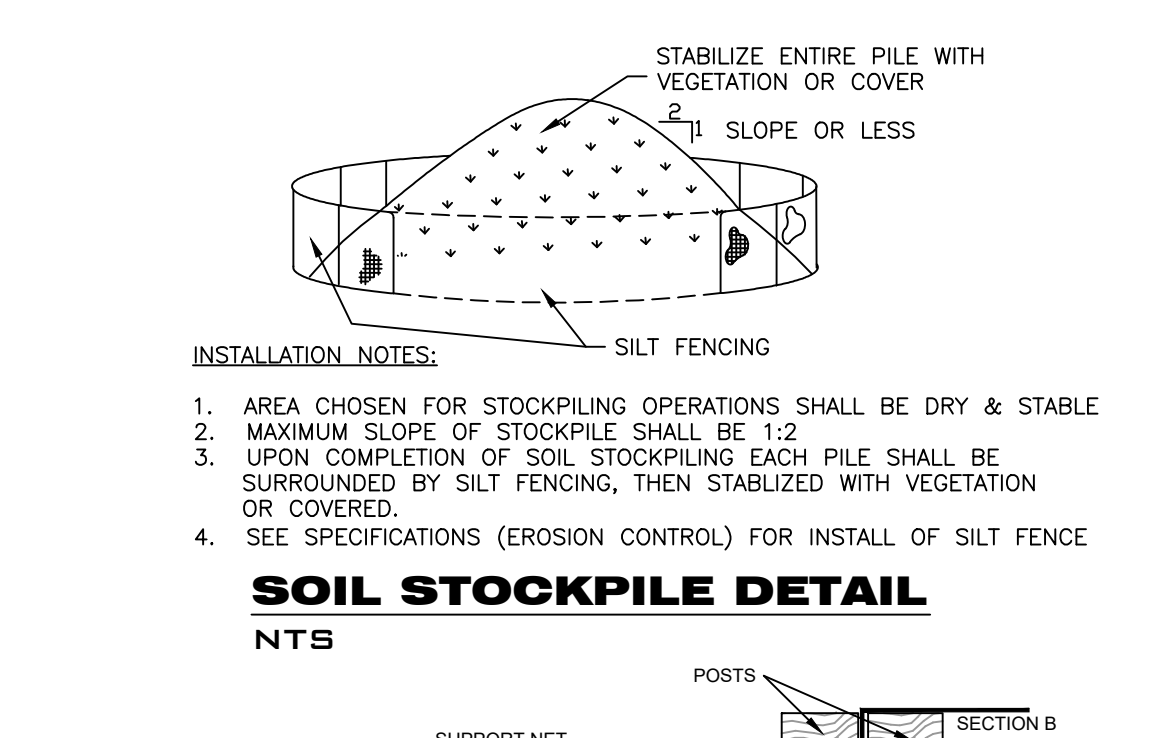
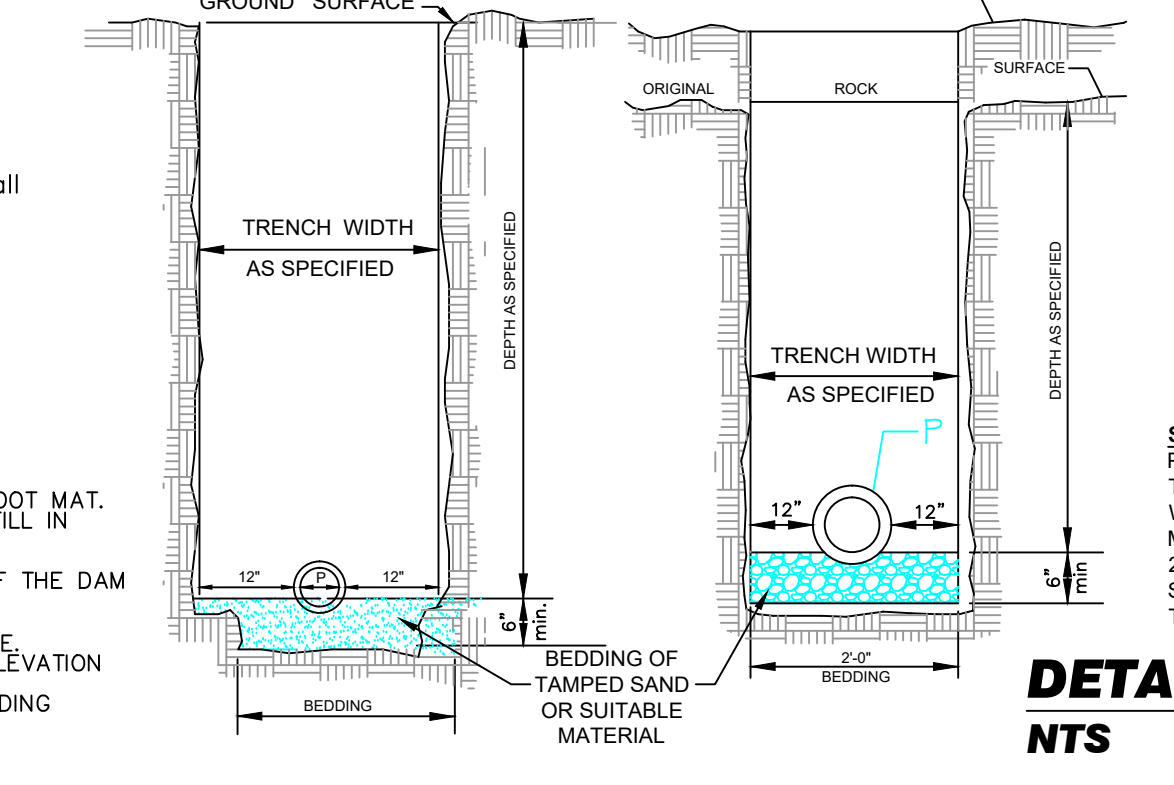
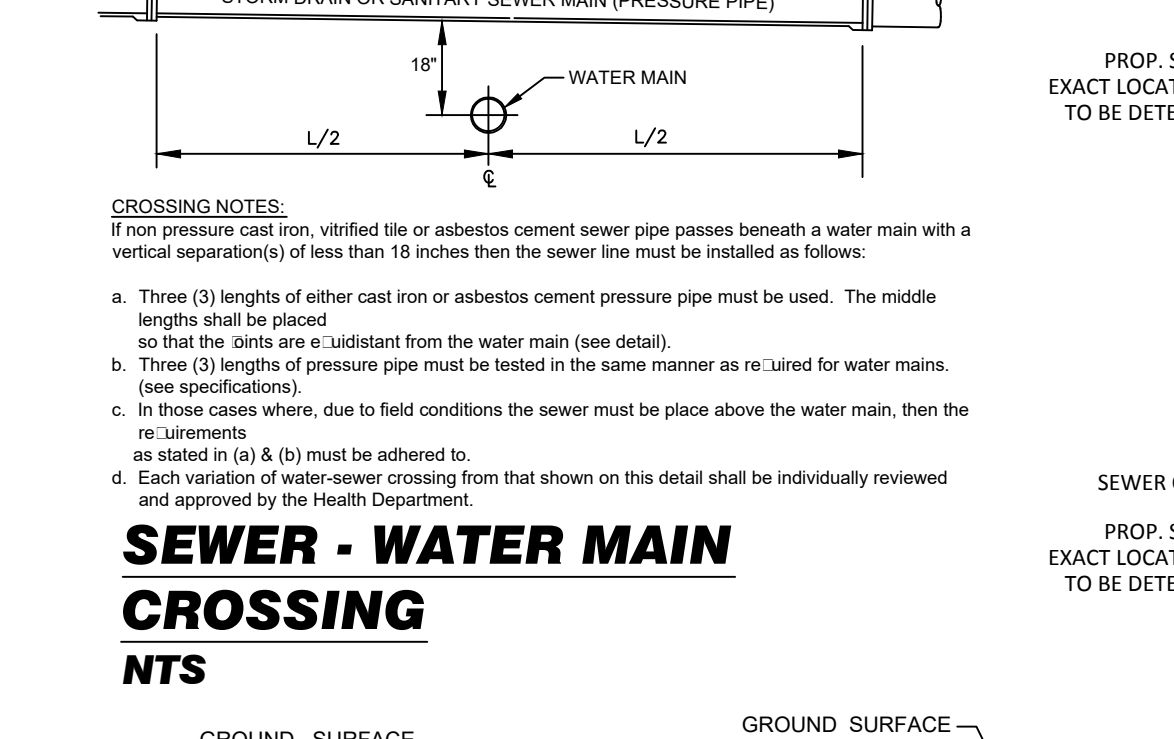
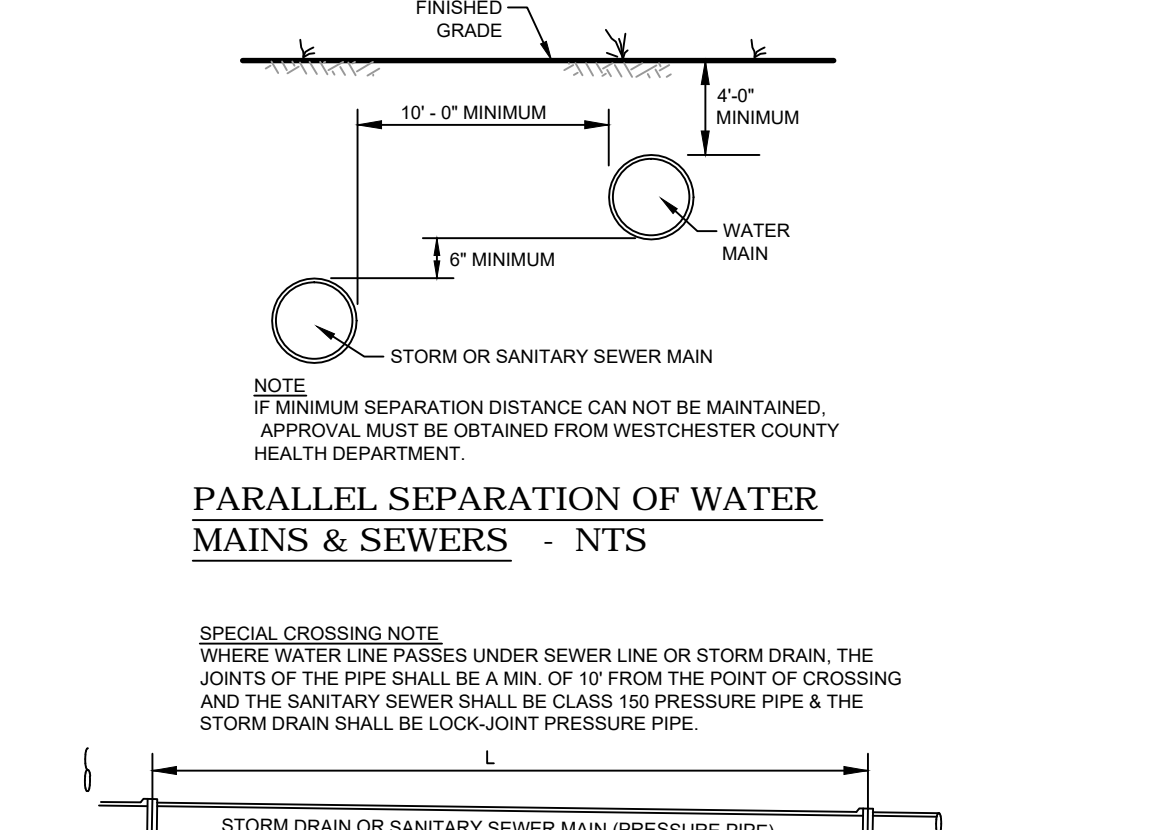
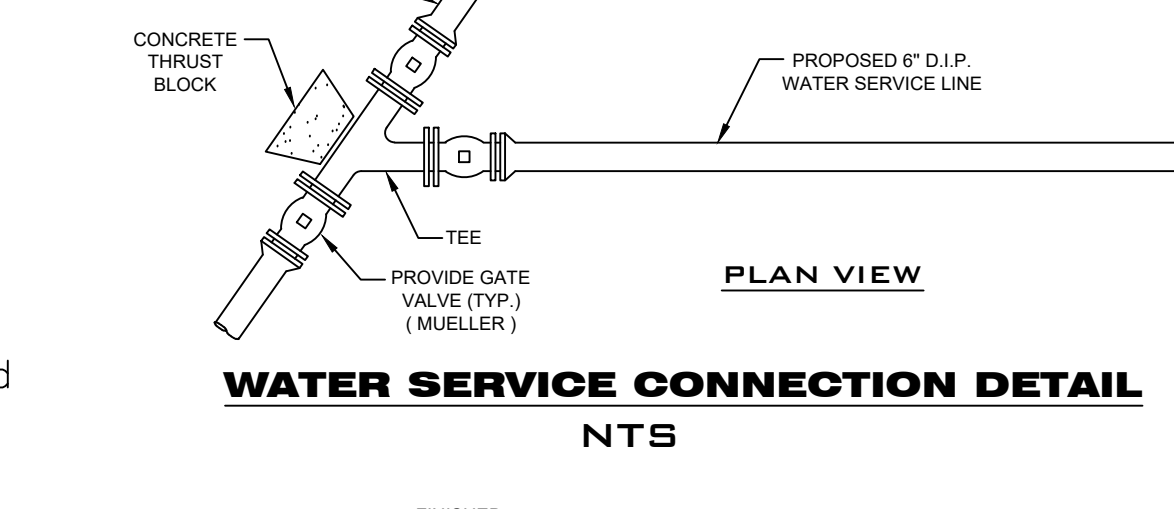
CONSTRUCTION SPECIFICATIONS
1. SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
2. FOR USE IN CLEARED AND GRUBBED AND IN GRADED AREAS.
3. SHAPE BASIN SO THAT LONGEST INFLOW AREA FACES LONGEST LENGTH OF TRAP.
4. THE VOLUME OF SEDIMENT STORAGE SHALL BE 1800 CUBIC FEET PER ACRE OF CONTRIBUTORY DRAINAGE.
5. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
6. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION SHALL BE MINIMIZED.
7. THE SEDIMENT TRAP SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE CONSTRUCTED DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
8. ALL CUT SLOPES SHALL BE 1:1 OR FLATTER.
MAXIMUM DRAINAGE AREA: 3 ACRES

CATCH BASIN SEDIMENT TRAP



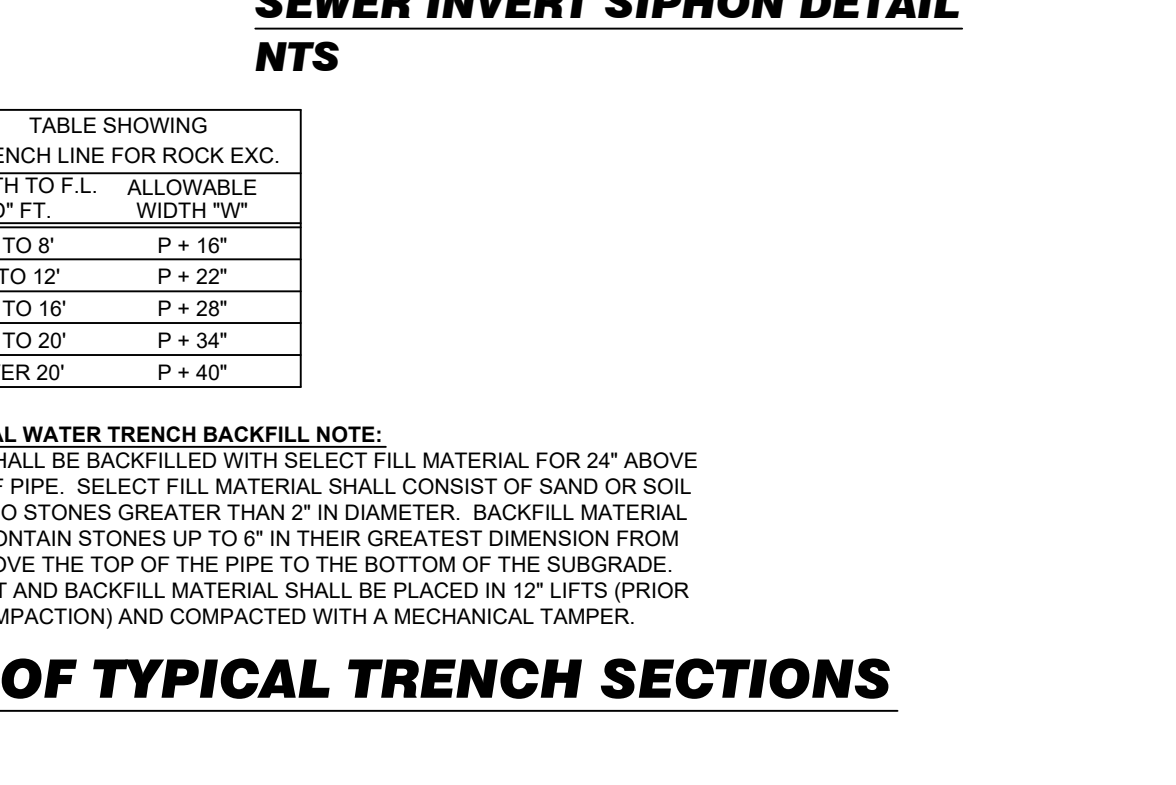
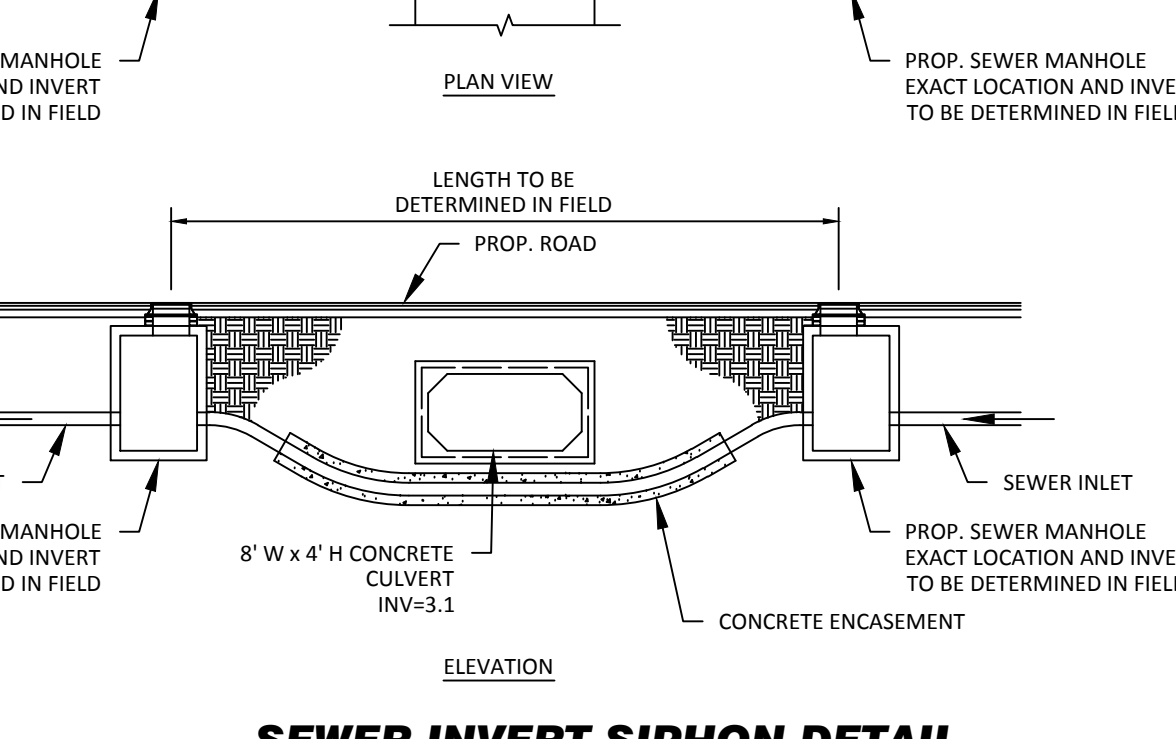
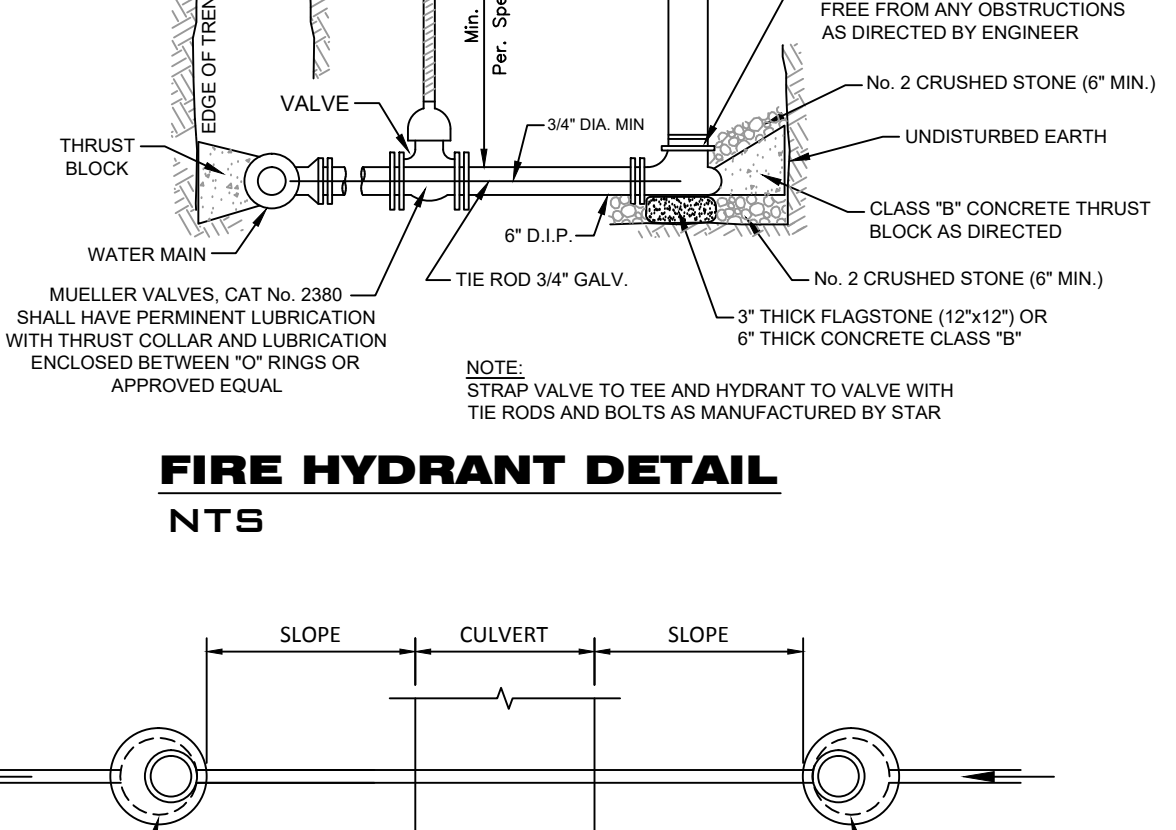
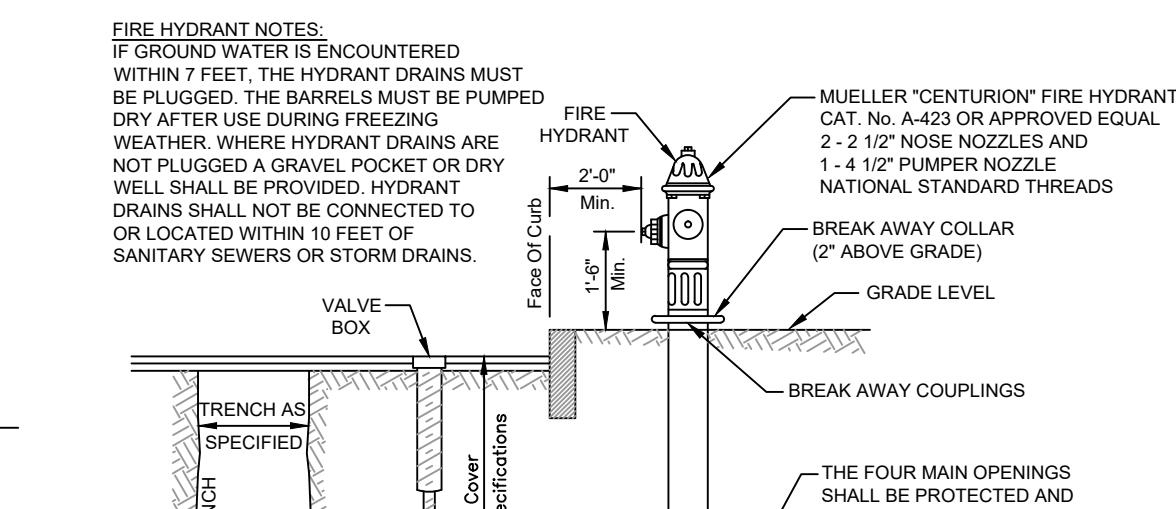
1. CONTRACTOR TO INSTALL V-MAX PERMANENT TURF REINFORCEMENT MAT, SPEC #SC250, BY NORTH AMERICAN GREEN AS FOLLOWS:
2. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
3. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15cm) DEEP X 6" (15cm) WIDE TRENCH WITH APPROXIMATELY 12" (30cm) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30cm) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30cm) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30cm) APART ACROSS THE WIDTH OF THE BLANKET.
4. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
5. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" (5cm-12.5cm) OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
6. CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5cm) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30cm) APART ACROSS ENTIRE BLANKET WIDTH.
NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15cm) MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

SLOPE STABILIZATION DETAIL



INSTALLATION NOTES:
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY & STABLE
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2
3. UPON COMPLETION OF SOIL STOCKPILING EACH PILE SHALL BE SURROUNDED BY SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.
4. SEE SPECIFICATIONS (EROSION CONTROL) FOR INSTALL OF SILT FENCE

SOIL STOCKPILE DETAIL



REVISIONS
02.09.07 02.13.17
03.21.08 08.24.17
10.31.08 04.09.18
10.17.12 06.03.18
11.20.12 08.03.18
03.25.13 07.16.13

JOB NO. 2001
DATE: 04.09.18
SCALE: AS NOTED
DRAWN BY: SB
CHECKED BY: P.B.

600 NORTH BROADWAY
WHITE PLAINS, N.Y. 10603
9 1 4 . 9 4 8 . 3 6 2 9
PAUL BERTÉ, P.E.

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ENGINEERING

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