

Local Law 7-2021

A local law amending Chapter 270 (Zoning) of the Village of Ossining Code to establish the Downtown and Croton Avenue Overlay Districts in the VC (village center) and NC-2 (neighborhood center) zoning districts and provide regulations for uses and development within such districts; revise certain setback requirements in the S-75 (single family) and T (two family) zoning districts; and revise the Use Tables whereby two family attached or two family detached dwellings are permitted uses in the T (two family) zoning district.

BE IT ENACTED by the Board of Trustees of the Village of Ossining as follows:

Section 1. Chapter 270 (Zoning) is amended with new matter underlined by adding a new section 270-15A **Downtown and Croton Avenue Overlay Districts**.

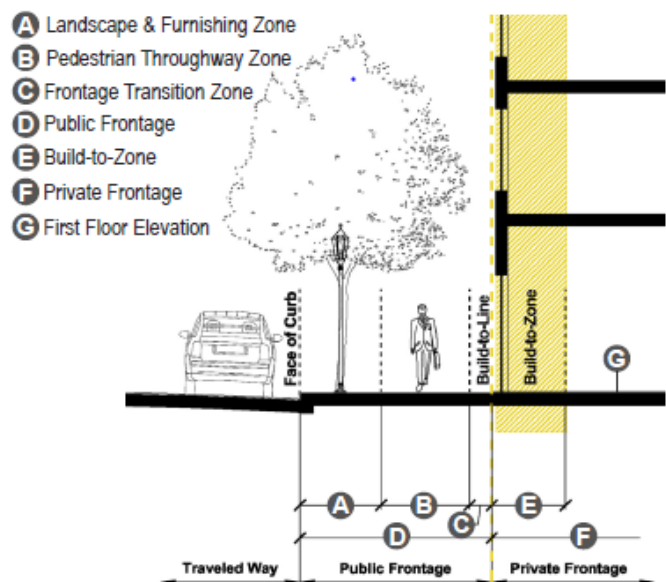
Section 270-15A (A). Purposes. The Downtown Overlay District and Croton Ave Overlay District provide an option to developers that is intended to:

- (1) Encourage new traditional mixed-use downtown development and redevelopment to occur within the downtown area that is consistent with historic village development patterns and provides a scale and mix of uses appropriate for the Village of Ossining;
- (2) Encourage mixed-use real estate development that results in active sidewalks and civic spaces and economically sustainable development;
- (3) Promote well-integrated residential, commercial, office and civic development in close proximity to the primary retail district that have an urban village scale development pattern;
- (4) Support new development that includes diverse pedestrian-compatible, higher density designs and expands economic development opportunities and minimizes distances between destinations by requiring linked sidewalks and pedestrian-oriented access;
- (5) Provide incentives for the creation of mixed uses in keeping with the character, scale and architecture of the downtown and surrounding neighborhoods, while using development design guidelines to promote compatibility of uses and stimulate pedestrian activity;
- (6) Promote the livability and identity of the district and neighborhoods by providing for dwellings, shops and workplaces in close proximity to each other;

- (7) Enhance the visual character and physical comfort of the district by minimizing pedestrian and vehicular conflicts and encouraging the renovation and erection of buildings and storefronts that provide direct connections to the street and sidewalk;
- (8) Discourage the dependence on automobile use, thereby reducing traffic congestion and promoting alternative modes of transportation;
- (9) Encourage the development of shared parking and attractive, convenient off-street parking facilities to reduce on-street congestion and facilitate vehicular and pedestrian circulation; and
- (10) Provide for efficient pedestrian, bicycle and vehicular circulation, with an emphasis on avoiding automobile-centric sprawling commercial development.

Section 270-15A (B) DEFINITIONS

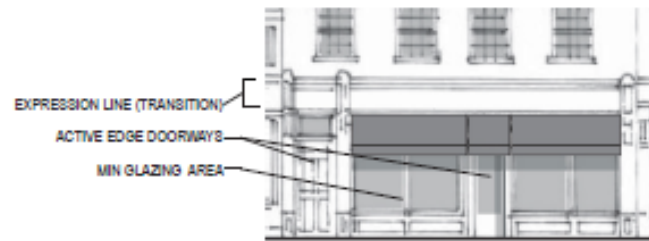
- (1) Active Edge: A private frontage requiring a minimum glazing area and a minimum average frequency of doorways to promote visibility and activity along certain Lot Frontage Types.
- (2) Build-To-Line: A line defining the portion of the Build-To-Zone closest to a street or civic space which is typically parallel to the street right-of-way.
- (3) Build-To-Zone: The area of a lot facing a Public Frontage where a portion of the front building façade is required to be located, between the Build-To-Line and a line parallel to the Build-To-Line.
- (4) Civic Space: An area of open space accessible to the public, immediately adjacent and contiguous with a Public Frontage in the form of a Square, Green or Courtyard.
- (5) Downtown Overlay District and Croton Ave Overlay District Development: A development of land that conforms to 270-15A and is located within the Downtown Overlay District or Croton Ave Overlay District zones.
- (6) First Floor Elevation: The vertical distance measured from the sidewalk closest to the Principal Entrance of a building to the first floor above grade.



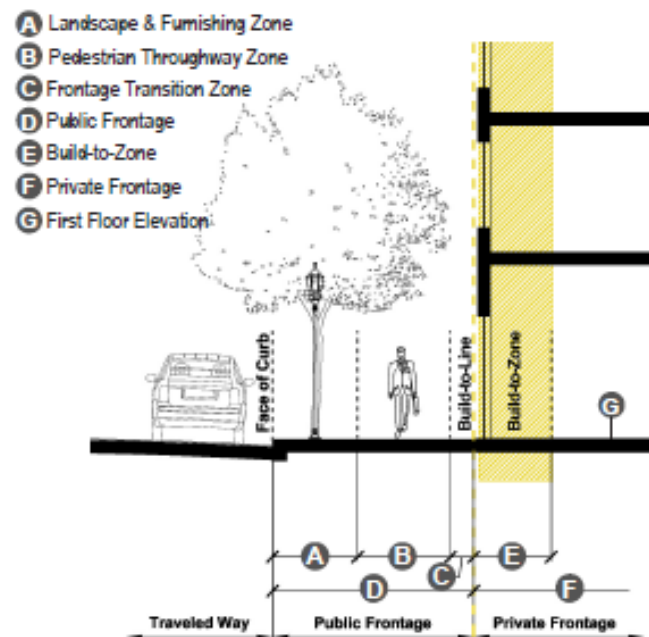
PUBLIC AND PRIVATE FRONTAGES

- (7) **Frontage Type, Lot: A designated set of standards controlling the placement of buildings along a public frontage as defined by the Street Frontage Type.**
- (8) **Frontage Type, Street: A set of standards, designated on the Regulating Plan, defining a range of permitted Lot Frontage Types for those portions of a lot facing a Public Frontage.**
- (9) **Frontage Occupancy: A defined area within Site Frontage that must be occupied by a building façade for a specified minimum height and built within the Build-To-Zone.**
- (10) **Frontage, Primary: The portion of a lot facing the street type with the highest volume of vehicular traffic.**
- (11) **Frontage, Private: The area within a lot between the Build-To-Line and a line parallel to it that is 20 feet behind the Build-To-Line.**
- (12) **Frontage, Public: The area located between the face of curb and the Build-To-Line as defined by the Regulating Plan and corresponding street type or civic space designations. The public frontage is comprised of Sidewalk Zones termed Landscape and Furnishing Zone, Pedestrian Throughway Zone and Frontage Transition Zone.**

- (13) Frontage, Site: The total length of a site fronting on each street, measured in linear feet at the Build-To-Line.
- (14) Frontage Transition Zone: The portion of the public frontage between the Build-To-Line and the Pedestrian Throughway, allowing for building fixtures (e.g. lighting, signage, projected architectural moldings), movable planters, movable furnishings and displays and signage boards.
- (15) Landscape and Furnishing Zone: The area of sidewalk between the curb and sidewalk throughway designated as the primary location for street trees, street furniture and light standards.
- (16) Liner Building: A building designed to screen the view of a parking lot or parking structure from a Build-To-Zone, street or civic space.
- (17) Live-Work: A building which includes a combination of dwelling units and retail and/or artisan production facilities in excess of what is allowed as a home-based business.
- (18) Mixed-Use: A building or site designed for and containing more than one of the uses permitted on the site.
- (19) Parapet Line: A continuous horizontal projection for most of a façade. The parapet, like the eave line, can be a designated location for measure of building height.
- (20) Parking Structure: A building containing one or more stories of parking above grade.
- (21) Pedestrian Throughway: An area within the sidewalk that must remain clear of obstructions to allow public passage.



STOREFRONT DESIGN STANDARDS



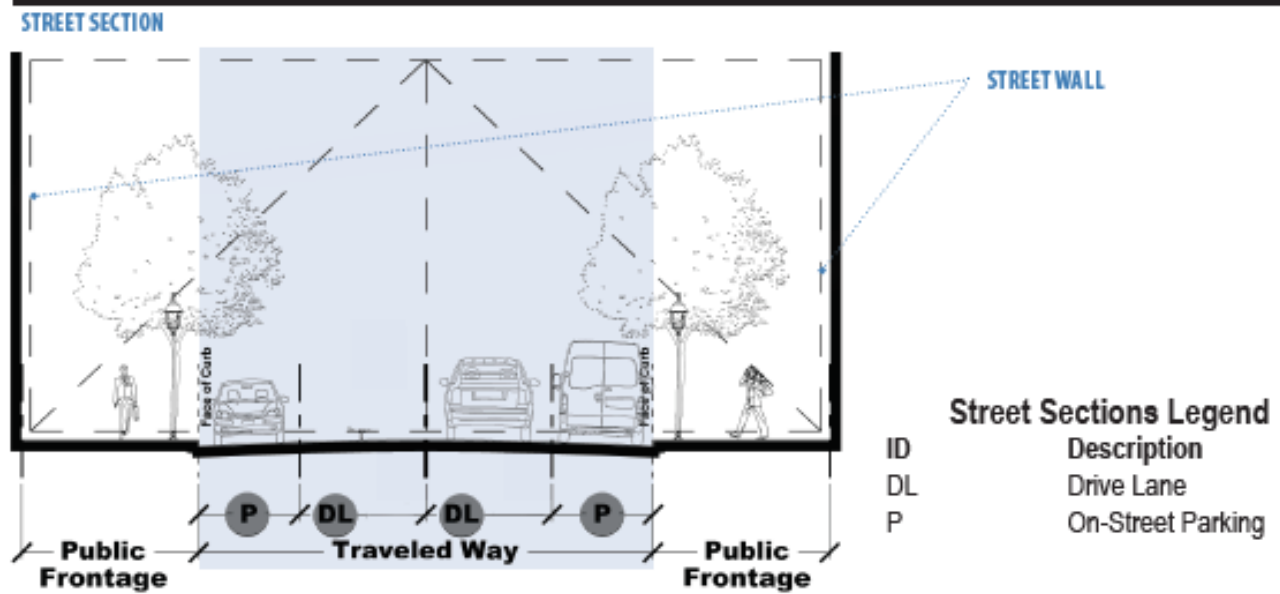
PUBLIC AND PRIVATE FRONTAGES



CIVIC SPACE

- (22) **Pedestrian Way:** A pedestrian walkway providing common access between buildings, streets, civic spaces and parking areas, which may be open or roofed.
- (23) **Principal Building:** The primary and largest building on a Lot, usually located toward the primary frontage.
- (24) **Principal Entrance:** The main point of access for pedestrians into a building.
- (25) **Private Frontage:** See Frontage, Private.
- (26) **Public Frontage:** See Frontage, Public
- (27) **Stepback:** A portion of a building set back above the Street Wall before the total height of the building is achieved. The position of the stepback is controlled by a specified distance from the Street Wall.
- (28) **Storefront:** A private frontage type primarily for retail use, with substantial glazing, wherein the facade is aligned close to the front lot line with the building entrance at sidewalk grade.
- (29) **Street Frontage:** The lot line facing a street right-of-way which may be designated with a Street Frontage Type on the Regulating Plan.
- (30) **Street Frontage Type:** see Frontage Type, Street
- (31) **Street Furniture:** Public amenities such as benches, bike racks, trash cans, clocks and bollards, when located in and adjacent to the public sidewalks, improve pedestrian comfort, convenience and safety.
- (32) **Street Wall:** The building wall or walls aligned along a sidewalk at a specified minimum height, facing a street to form a pedestrian experience with sidewalks and street enclosures.
- (33) **Traveled Way:** The portion of a street between the curbs and available for use by vehicles, bicycles and other forms of transportation.





Section 270-15A (C) OVERLAY DISTRICT

- (1) **Overlay Districts.** The Downtown Overlay District and Croton Ave Overlay District shall be overlay zoning districts to the existing zoning districts. The Downtown Overlay District overlays the existing VC District and the Croton Ave Overlay District overlays the NC-2 District along Croton Avenue. An alternative set of dimensional, use, and regulatory standards shall apply to the Downtown Overlay District and Croton Ave Overlay District developments providing design, site layout, and general performance standards for new development that allows better market flexibility. If an applicant chooses to utilize these optional standards, then all of the requirements of this §270-15A shall apply. All of the provisions of the underlying zoning districts shall remain in full force, except where modified by the Downtown and Croton Avenue Overlay Districts' provisions, procedures and requirements.
- (2) **Form Based Development.** Site plan approval shall be granted for a form-based development only if the applicant proves that the following minimum requirements will be met, in addition to other applicable Village Code requirements. The Planning Board may grant a modification from any of these requirements to facilitate good design and accommodate specific site conditions. For example, the setback from the curb on a Primary Commercial Street Frontage is listed as 15 feet, the Planning Board might modify this to conform to the setback of adjacent buildings.
- (3) **Site Platting.** All existing and proposed buildings will be platted with their own lot for planning and dimensional compliance purposes regardless of the final structure of ownership. Rights-of-way shall be shown for all streets and alleys created as part of a Downtown Overlay District or Croton Ave Overlay District development whether or not said streets are intended for public dedication. Condominium form of ownership and multiple building uses are permitted, but each individual lot shall be laid out so that the dimensional requirements are met. However, the actual lot lines do not need to be legally established.
- (4) **Street standards.** The Planning Board shall have the authority to grant variances and waivers to the standards of Chapter 233 - Subdivision of Land, which may include reduced street cartway widths, street right-of-way widths and street curve radii, when properly justified by the applicant and to result in a development that is pedestrian-oriented and that promotes low-speed traffic.
- (5) **Access controls.** As part of the site plan approval process, the applicant shall prove that the development involves a fully coordinated interior traffic access system that minimizes the number of streets and driveways entering onto a State or Village-owned road.

(6) General Development Standards.

(a) General Principles and Intent.

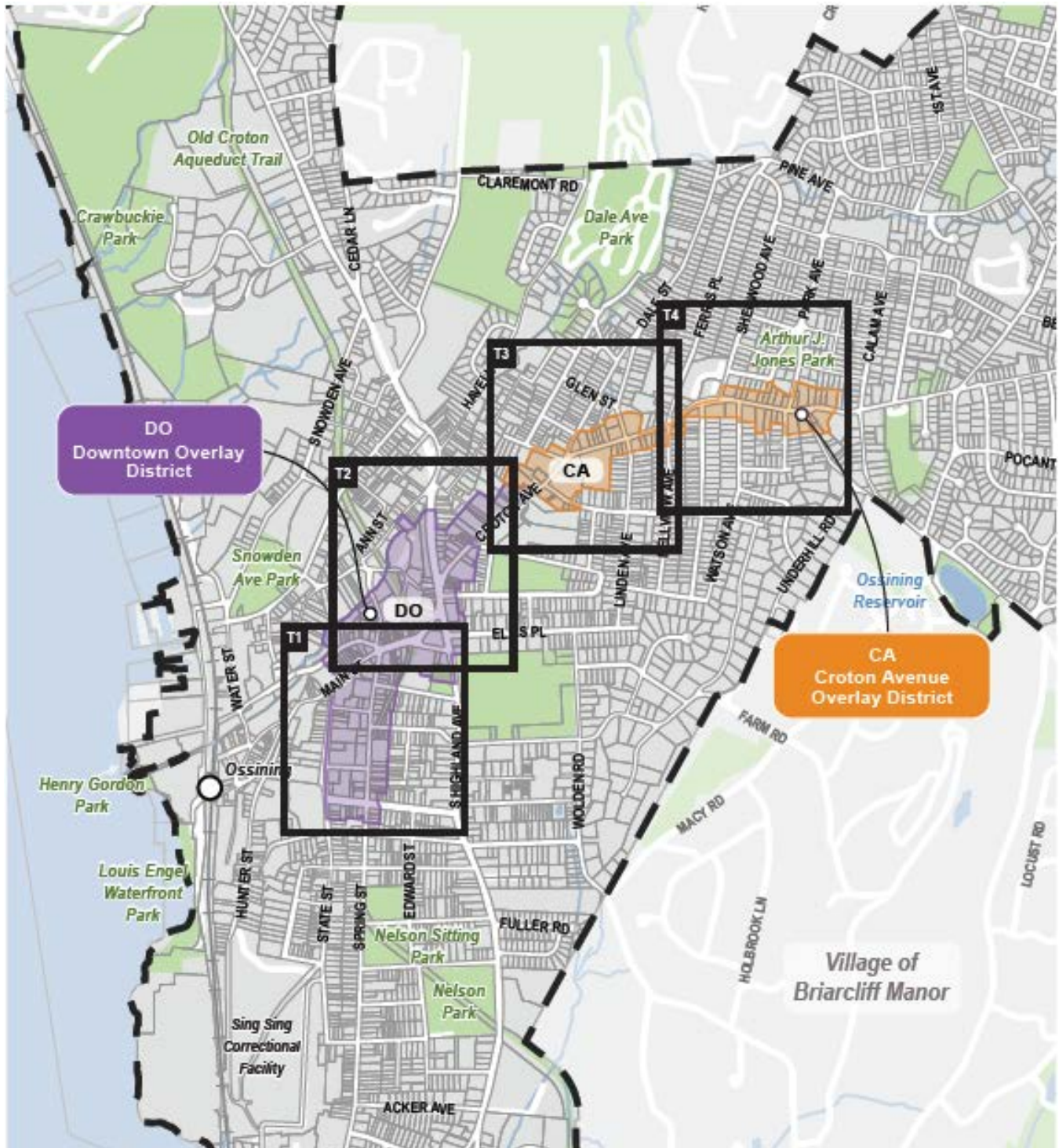
- [1] The development standards shall be used to define the edges of the public realm and guide the placement of buildings and thoroughfares to create connected networks of streets, sidewalks, civic spaces and pedestrian ways. The Regulating Plan establishes frontage standards along streets and civic spaces and these frontage standards are used to reinforce existing and to create new walkable mixed-use urban environments.**
- [2] Buildings and landscaping should be designed to create a sense of enclosure for both streets and civic spaces as places for pedestrian experiences at the human scale.**
- [3] Building frontages should be designed with the pedestrian in mind to integrate traveled ways, on-street parking, a landscape and furnishing zone, a pedestrian thoroughway and a transition zone to meet active building frontages that typically include signage, seating areas, and storefronts.**
- [4] Development should be designed to accommodate automobiles while respecting the pedestrian and spatial form of civic places.**

Section 270-15A (D) LOCATION MAP AND REGULATING PLAN



Location Map for Downtown Overlay District and Croton Ave Overlay District

270-15A (D) (1) LOCATION MAP WITH TILES



Location Map for Downtown and Snowdon Ave Overlay Districts

270-15A (D) (2) DOWNTOWN OVERLAY DISTRICT REGULATING PLAN

(1) The Regulating Plan defines the important sub-areas within the overlay district and specifies performance and dimensional standards relating to building form and use to achieve the purposes of this chapter. The Regulating Plan adopted herewith shall have the same force and effect as the overall Village of Ossining Zoning Map as it applies to overlay district areas. The Regulating Plan creates the following Street Frontage Types:

- (a) Primary Commercial Street Frontage
- (b) Secondary Commercial Street Frontage
- (c) Neighborhood Commercial Street Frontage
- (d) Neighborhood Street Frontage
- (e) Service Street Frontage
- (f) Greenway Street Frontage

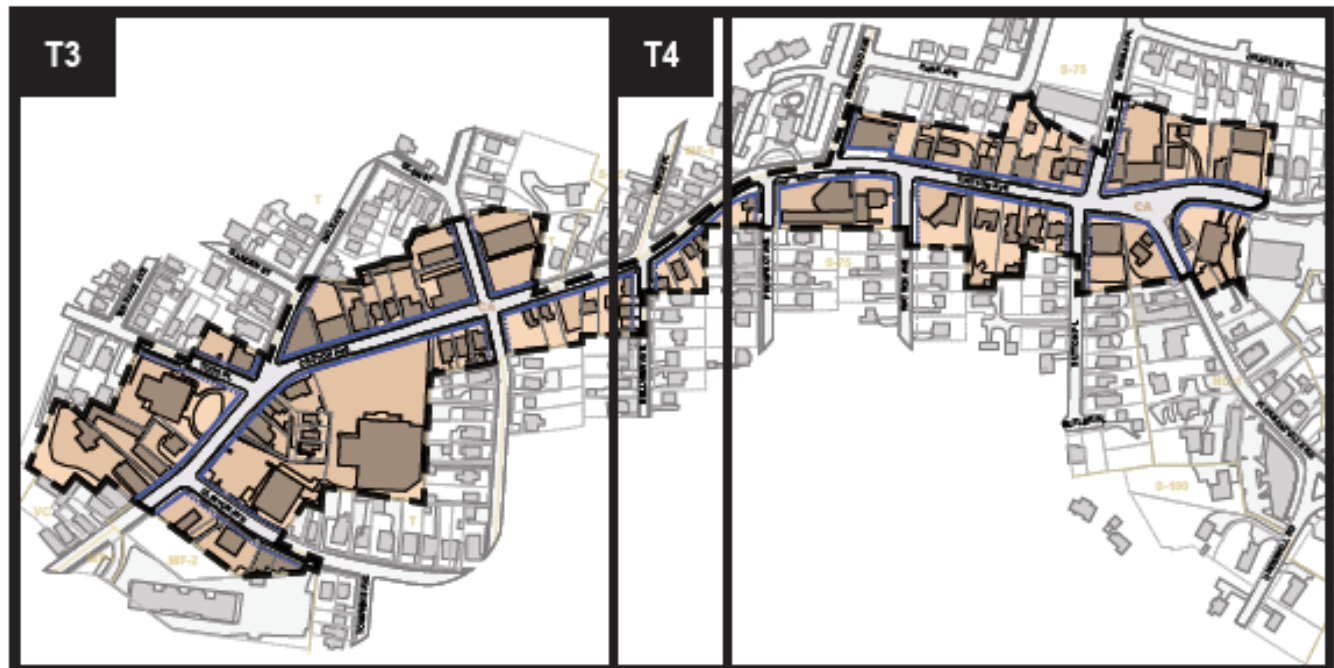


Regulating Plan for DO Downtown Overlay District

- (2) **Boundaries of Regulating Plan Areas. To enable flexibility and good site design, buildings constructed as part of a Downtown and Croton Ave Overlay Districts' development may be built across the boundaries of the regulating plan areas providing that they comply with the design, dimensional and form standards of the area where that portion of the building is located.**

Legend	
	Primary Commercial Street Frontage
	Secondary Commercial Street Frontage
	Neighborhood Commercial Street Frontage
	Neighborhood Street Frontage
	Service Street Frontage
	Greenway Street Frontage
	DO - Downtown Overlay District
	Designated location for Civic Space compliant with Section 270-15A.H.1.b.4
	Civic Space within the DO District
	DO - Downtown Overlay District Boundary
	Zoning District Boundary
	Property Line

Section 270-15A (D) (3) CROTON AVENUE OVERLAY DISTRICT REGULATING PLAN

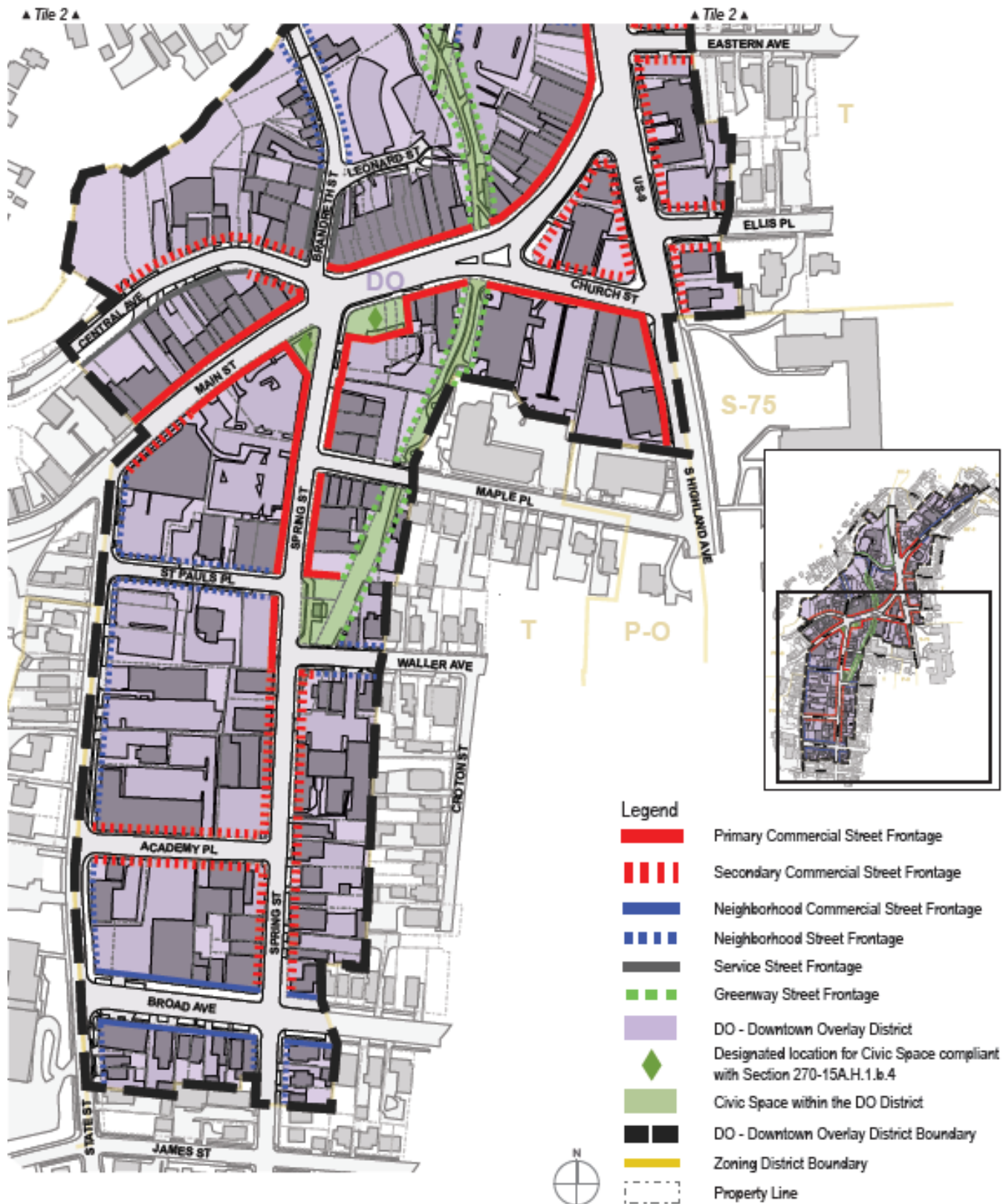


Regulating Plan for CA Downtown Overlay District

Legend

-  Neighborhood Commercial Street Frontage
-  Neighborhood Street Frontage
-  CA - Croton Avenue District
-  CA - Croton Avenue District Boundary
-  Zoning District Boundary
-  Property Line

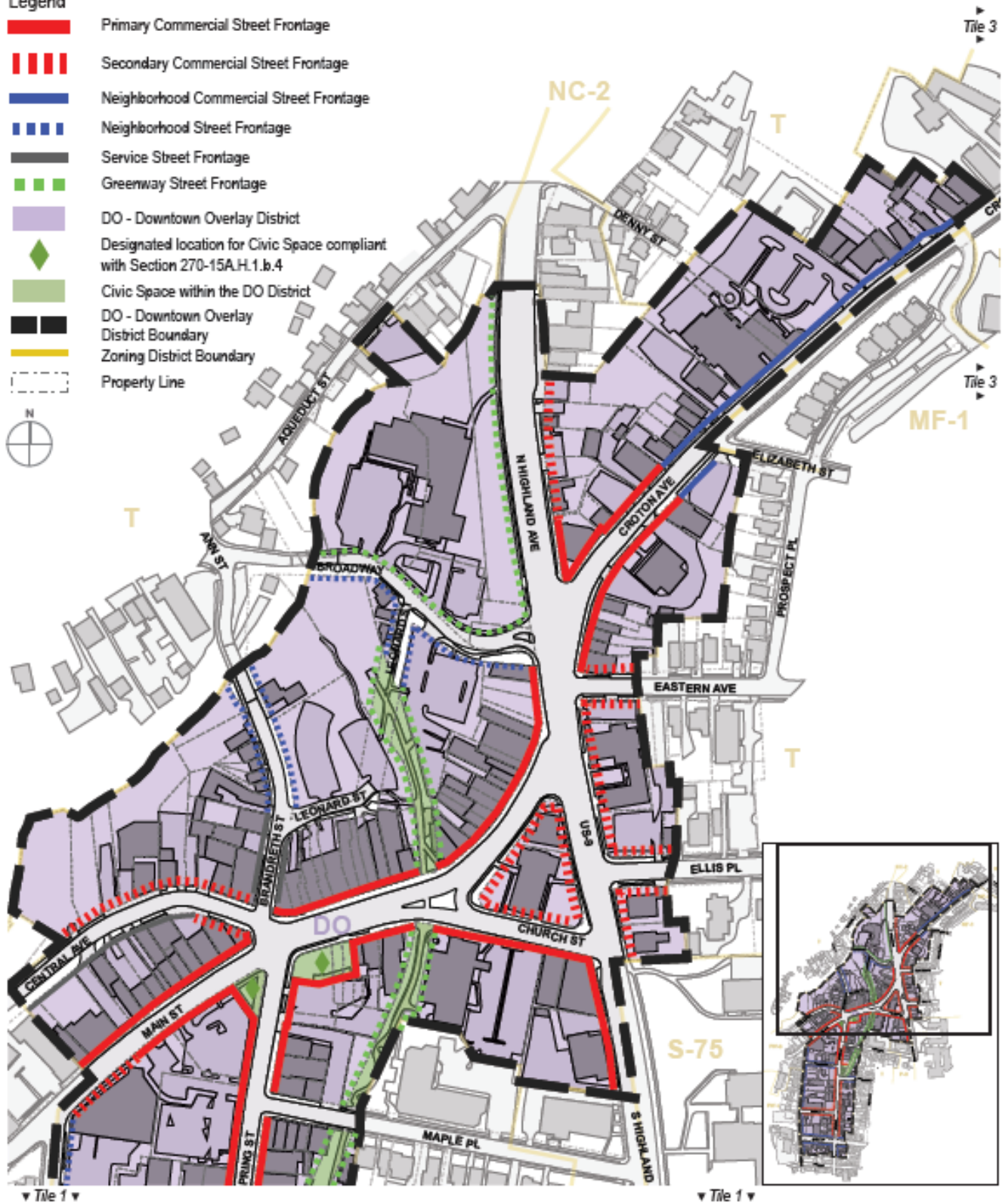
Section 270-15A (D) (4) DOWNTOWN OVERLAY DISTRICT REGULATING PLAN AREA TILE 1



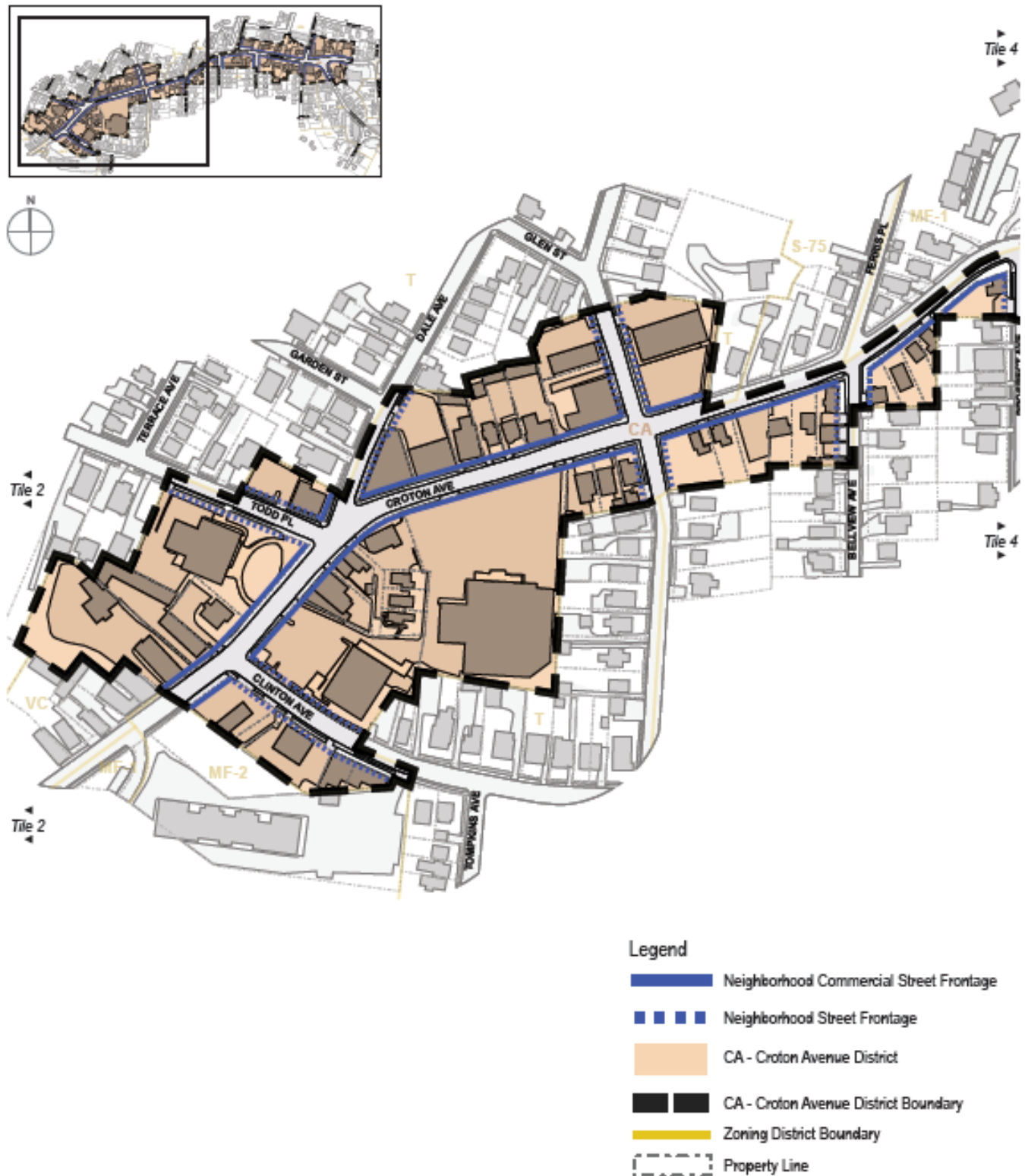
Section 270-15A (D) (5) DOWNTOWN OVERLAY DISTRICT REGULATING PLAN TILE 2

Legend

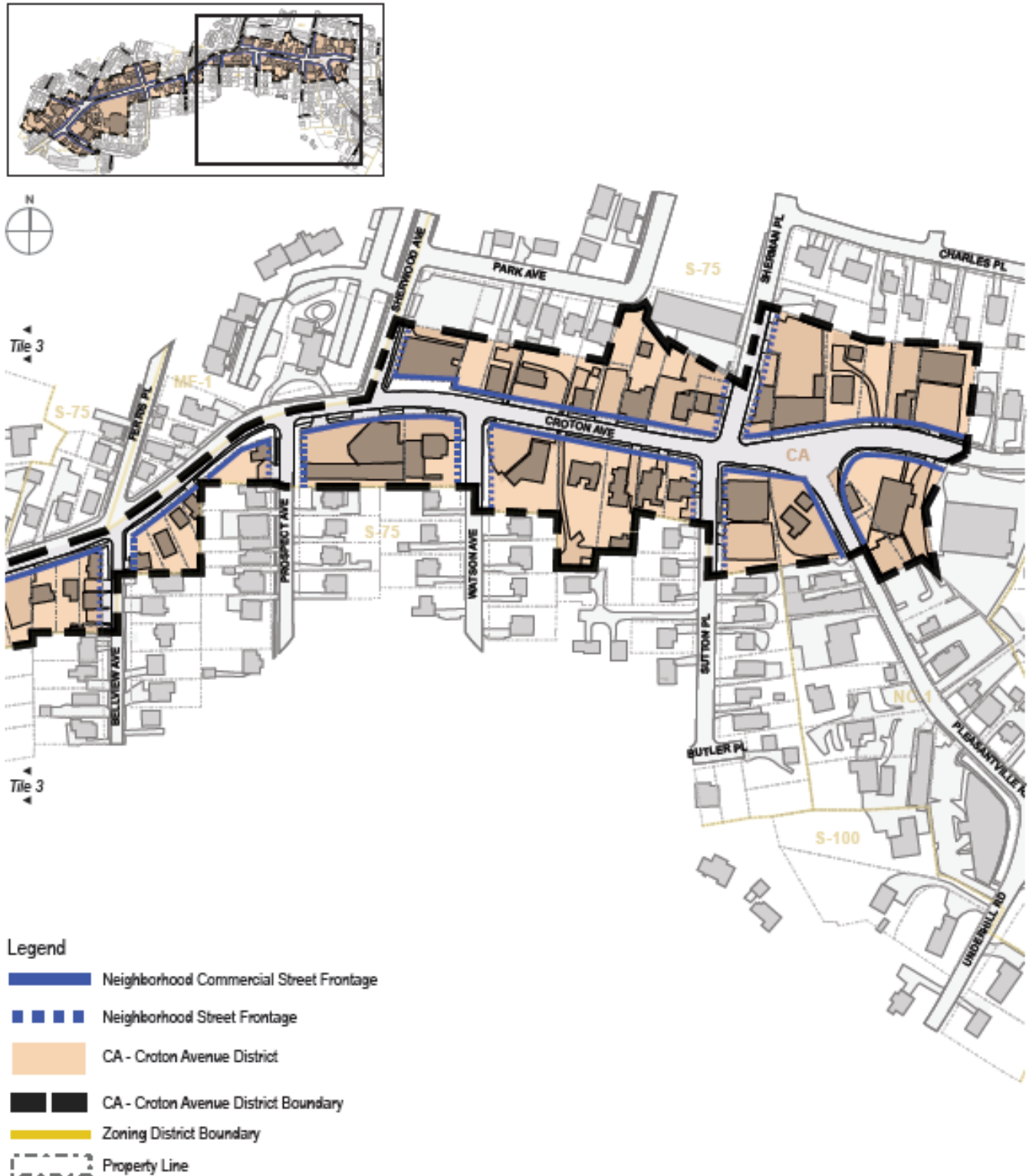
-  Primary Commercial Street Frontage
-  Secondary Commercial Street Frontage
-  Neighborhood Commercial Street Frontage
-  Neighborhood Street Frontage
-  Service Street Frontage
-  Greenway Street Frontage
-  DO - Downtown Overlay District
-  Designated location for Civic Space compliant with Section 270-15A.H.1.b.4
-  Civic Space within the DO District
-  DO - Downtown Overlay District Boundary
-  Zoning District Boundary
-  Property Line



Section 270-15A (D) (6) CROTON AVENUE OVERLAY DISTRICT REGULATING PLAN TILE 3

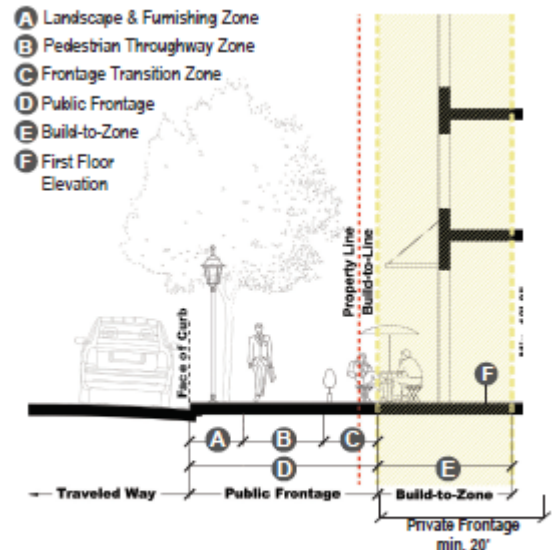


270-15A (D) (7) CROTON AVENUE OVERLAY DISTRICT REGULATING PLAN TILE 4



Section 270-15A (E) (1) BUILDING FRONTAGE STANDARDS

- (a) **Frontage Elements.** The combination of the Private Frontage, Public Frontage, the Traveled Way, and the associated Edging Elements, defines the character of the street. The character of the Private Frontage is defined by the architectural treatment and use of the ground floor, dimensional depth of the visible yard and the combination of the Frontage Edging Elements. The private frontage provisions of this section regulate both form and use.
- (b) **Build-To-Line.** The Build-To-Line defines the portion of the Build-To-Zone closest to a Street, and therefore regulates the frontage standards.
- (c) **Regulating Plan.** The Regulating Plan establishes Build-To-Lines and Build-To-Zones to establish and maintain a continuous street wall and promote a sense of enclosure that is so critical for realizing memorable and pedestrian scaled places in downtown mixed-use and commercial areas such as the areas regulated by these Overlay Districts.
- (d) **Build-To-Line Placement.** The Build-To Line shall be set parallel to the Property Line for a distance regulated by the Street Frontage Type in Sec. 270-15A (E) (2), as designated by the Downtown and Croton Ave Overlay Districts Regulating Plans in Sec. 270-15A (D).
- (e) **Front Building Wall.** All new buildings located with Downtown and Croton Ave Overlay Districts shall place the front building wall within the Build-To-Zone for a minimum distance and height as defined by the Frontage Occupancy, but no closer to the street than the Build-To-Line, except where a civic space is designated to permit a greater setback along a portion of the frontage. The Build-To-Line shall be no more than 20 feet from the face of curb unless a civic space is approved by the Planning Board.
- (f) **Building Facade Variation.** The Build-To-Zone allows building entrance alcoves and expanded sidewalk area for outdoor dining, building facade articulation, inclusion of projected and/or recessed building elements, and building alignment with existing neighboring buildings.
- (g) **Private Frontage Depth.** The Private Frontage shall extend 20 feet into the site from the Build-To-Line. The Private Frontage may, in certain circumstances, limit the placement of residential uses on the street level and may limit the placement of parking structures on a site.



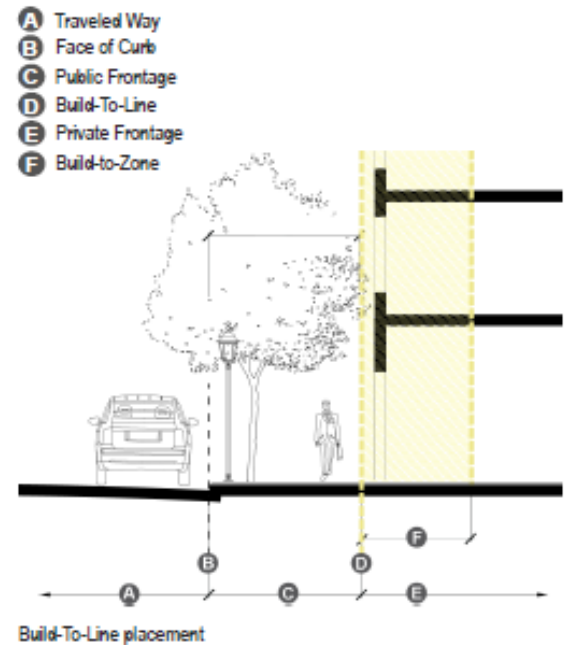
The Build-To-Zone is the designated area where front building facades shall be placed to create a continuity of street wall.

- (h) Storefront Depth. Storefronts, when provided, shall occupy the full depth of the private frontage and, when located on corner site, the storefront shall wrap the corner onto the side street for a minimum of 20 feet.

Section 270-15A (E) (2) BUILDING PLACEMENT STANDARDS

- (a) Build-To-Line Placement:
- i. A Build-To-Line shall be designated on all lots.
 - ii. The Build-To-Line shall be parallel to the front property line and no closer to the curb than the standards defined in Table E (2) Build-To-Lines and Sidewalks.
- (b) Sidewalk and Streetscape Requirements. The applicant shall provide sidewalk and streetscape elements as required in Chapter 233 Article VI Design Standards, Sections 233-16 to 233-21. Sidewalks shall be provided along Street Frontages for the minimum width defined on Table E (2) Build-To-Lines and Sidewalks. Sidewalks shall be constructed of concrete, brick or stone. Asphalt shall be prohibited for sidewalks along streets.
- (c) Pedestrian Way. Pedestrian ways are pedestrian and bicycle only connections through properties. Where provided a walking surface of at least six feet in width shall be provided along with other streetscape elements such as site furniture and pedestrian-scaled lighting. When a secondary building is proposed at the rear of a lot on a street, a Pedestrian Way must be provided to connect sidewalks through lots to each other and with parking areas.
- (d) Front Wall Placement. Structural elements of a front building facade shall be located within the Build-To-Zone.
- (e) Primary Facade and Entry. Primary building façade and primary entrance shall address the street of higher importance, with Primary Commercial Street Frontages as the highest and Greenway Street Frontage as the lowest according to Table E (2), as approved by the Planning Board.

Table E (2) - Build-To-Line and Sidewalks		
Street Frontage Types	Build-To-Line shall be no closer to the curb than:	Min. sidewalk width
Primary Commercial Street Frontage	15'-0"	10'-0"
Secondary Commercial Street Frontage	10'-0"	8'-0"
Neighborhood Commercial Street Frontage	15'-0"	8'-0"
Neighborhood Street Frontage	15'-0"	5'-0"
Greenway Street Frontage	Not Applicable	8'-0"



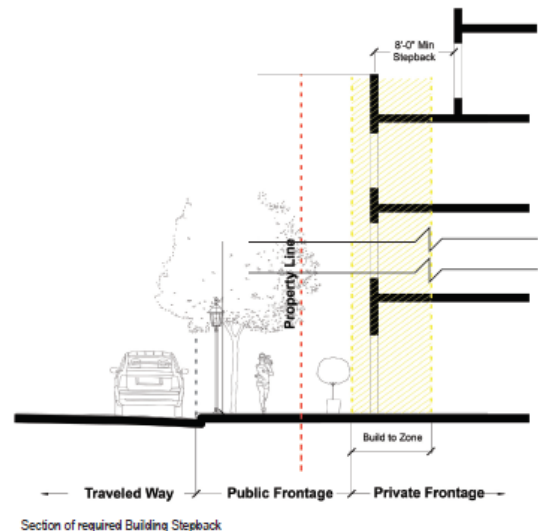
Section 270-15A (E) (3) BUILDING HEIGHT STANDARDS

- (a) **Height Standards. Sites and buildings shall comply with the minimum and maximum standards designated on the table below.**

TABLE E (3) - BUILDING HEIGHT STANDARDS				
	Min Building Height, when a building is present	Max Building Height (Whichever is the lesser of the two)	Max Building Height with Density Bonus*	Stepback required**
DO - Downtown Overlay District	2 stories	4 stories, or 48 feet	5 stories, or 58 feet	Building height 48 feet max. at Build-To-Zone with 8 ft. stepback
CA - Croton Avenue Overlay District	1 story	3 stories, or 36 feet	None	None
<p>* A Density Bonus in the Downtown Overlay District may be granted to permit additional Building Height up to the maximums shown if the development complies with the applicable Overlay District Standards and a fee is paid to a Community Benefit Fund to support the needs for parking, civic space or schools within the Village.</p> <p>** See 270-15A (E) (4) for building stepback requirements.</p>				

Section 270-15A (E) (4) BUILDING STEPBACK

- (a) **Building Stepback.** Where buildings are permitted to be greater than 48 feet in the Downtown Overlay District, the building shall, within those portions of the building within the Build-To-Zone, be limited to 48 feet and provide a building stepback of at least 8'-0" within the Build-To-Zone, however all remaining areas of the site may occupy the area up to the maximum building height permitted in that District.



Section 270-15A (E) (5) PERMITTED USES AND SITE DEVELOPMENT STANDARDS

- (a) **Uses Allowed within the Downtown and Croton Avenue Overlay Districts. The following additional uses are permitted within the Downtown and Croton Avenue Overlay Districts. All Permitted Uses, Conditional Uses and Special Permit Uses remain as per the underlying zoning districts with the following exceptions:**
- (1) **Residential Use shall be allowed as a Permitted Use at the following locations: 1) on the upper floors above non-residential and residential uses and 2) on those portions of the first floor 40 feet or greater from the front wall of buildings facing a street where the Street Frontage Type designated on the Regulating Plan is one of the following types:**
- [1] **Primary Commercial Street Frontage**
- [2] **Secondary Commercial Street Frontage**
- (2) **Residential Use shall be allowed on all floors as a Permitted Use where the Street Frontage Type designated on the Regulating Plan is one of the following types:**
- [1] **Neighborhood Commercial Street Frontage**
- [2] **Neighborhood Street Frontage**
- [3] **Greenway Street Frontage**
- [4] **Service Street Frontage**
- (b) **Development Regulations. The following site development requirements take precedence over those in the underlying zoning districts.**
- (1) **Downtown Overlay District:**
- [1] **Maximum building coverage: 80%**
- [2] **Maximum lot impervious coverage: 90%**
- [3] **Minimum building setbacks:**
- [a] **Front yard: front building walls shall be located within the Build-To-Zone according to the minimum Frontage Occupancy required.**

- [b] Rear yard: 20 feet minimum from lot lines or other buildings. Each lot shall have a maximum of one rear yard, typically located furthest from a street, as determined by the Zoning Officer.
- [c] Side yard: no side yard setback is required, provided that all building code separation requirements are met.

(2) Croton Ave Overlay District:

- [1] Maximum building coverage: 50%
- [2] Maximum lot impervious coverage: 80%
- [3] Minimum building setbacks:
 - [a] Front yard: front building walls shall be located within the Build-To-Zone according to the minimum Frontage Occupancy required.
 - [b] Rear yard: 20 feet minimum from lot lines or other buildings. Each lot shall have a maximum of one rear yard, typically located furthest from a street, as determined by the Zoning Officer.
 - [c] Side yard: no side yard setback is required, provided that all building code separation requirements are met.

(c) Density Bonus.

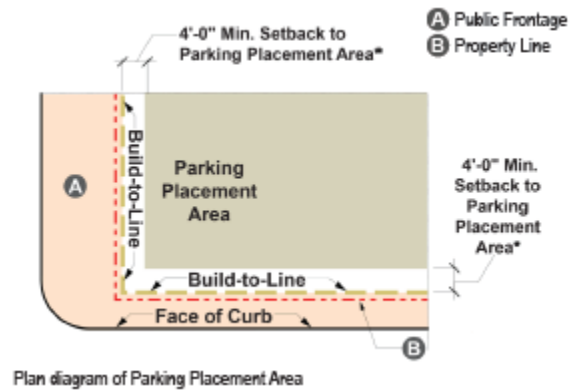
Where an applicant seeks the Density Bonus described in Table E (3), the Village Board of Trustees may grant a Density Bonus by special permit provided that the applicant demonstrates compliance with the standards defined in Section 270-15A and the required fee is paid to the Community Benefit Fund. The Village Board of Trustees shall set the fee required for the Density Bonus which fee shall be published in the Village's annual fee schedule. The Community Benefit Fund may support the needs of the Village to support parking, civic spaces, schools or other legitimate public purposes as defined by the Village. The density bonus shall not be granted if it would result in the demolition of a building that is considered a contributing building to the Downtown Ossining Historic Architectural and Design District.

270-15A (E) (6) PARKING REQUIREMENTS

(a) **Permitted uses shall provide the minimum required parking as specified in Section 270-30.**

(b) **Location and Setback:**

- [1] **No above grade off-street parking shall be located closer than 4'-0" setback from the Build-To-Line.**
- [2] **No parking structure shall be located within the Private Frontage at the street level along a Primary Commercial Street Frontage, however below grade and/ or upper floor parking shall be permitted within the Private Frontage provided it is entirely below the sidewalk elevation.**
- [3] **All off-street parking shall be screened by landscaping compliant with 270-15A (H) (2) or lined by buildings.**
- [4] **No off-street parking shall be allowed closer to the street than the closest building along that Street Frontage and within the Build-To-Zone.**



Section 270-15A (F) PRIVATE FRONTAGE TYPES

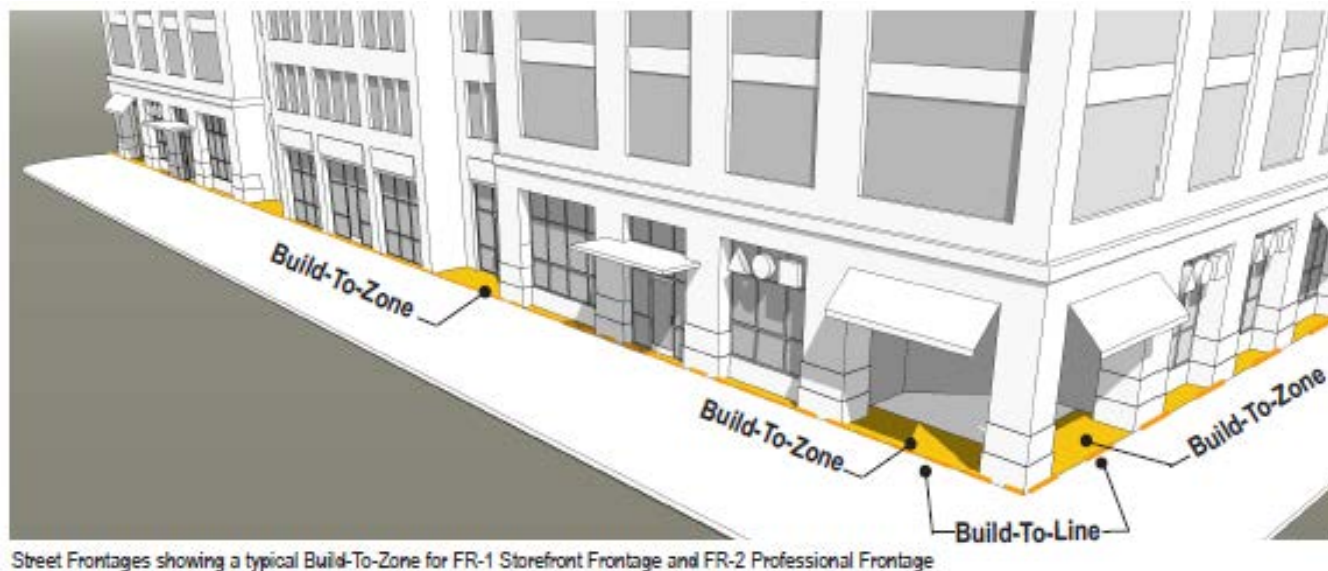
270-15A (F) (1) PERMITTED PRIVATE FRONTAGE TYPES

- (a) Where the Regulating Plan Map in Section 15A (D) designates one or more Street Frontage Types, those portions of buildings facing Streets, Civic Spaces or Pedestrian Passages shall comply with the Permitted Lot Frontage Type standards designated on Table F (1) Permitted Lot Frontage Types. The Lot Frontage Types are defined in greater detail in this Section.
- (b) The Build-To-Line for each frontage shall be parallel to the street and located within a lot at the greater of the two standards on at a minimum distance between a curb line and Build-To-Line as designated on a) Table E (2) Build-To-Lines and Sidewalks and b) Table F (1) - Permitted Lot Frontage Types, except as permitted in Section 270-15A (H) (1) Civic Space Design Standards.

Table F (1) - Permitted Lot Frontage Types										
Street Frontage Types	Permitted Lot Frontage Types									
	Storefront	Professional	Park	Service	Forecourt	Hillside	Neighborhood Storefront	Stoop	Porch	Yard
	FR-1	FR-2	FR-3	FR-4	FR-5	FR-6	FR-7	FR-8	FR-9	FR-10
Primary Commercial Street Frontage	P	P	X	X	X	X	X	X	X	X
Secondary Commercial Street Frontage	P	P	X	X	P	P*	X	P	P	X
Neighborhood Commercial Street Frontage	X	X	X	X	P	P*	P	P	P	P**
Neighborhood Street Frontage	X	X	X	X	P	P*	X	P	P	P**
Greenway Street Frontage	P	P	P	X	P	P*	X	P	P	P**
Service Street Frontage	P	P	P	P	P	P	P	P	P	P**
Required distance from Front Lot Line to the Build-To-Line (except as modified by E.1(b))	0'-0"		None Req'd	None Req'd	10'-0"	10'-0"	10'-0"	10'-0"		20'-0"
The depth of the Build-To-Zone, as measured from the Build-To-Line, where the required portion of the Front Building Wall shall be placed	5'-0"		None Req'd	None Req'd	10'-0"	20'-0"	10'-0"	10'-0"		10'-0"
P	Permitted									

p*	Permitted only when topography exceeds standards defined in FR-6 Hillside (a)
p**	Permitted, provided that one or more of the adjacent lots has a front yard with landscaping of at least 20 feet in depth from the front lot line

Section 270-15A (F) (2) BUILD-TO-ZONE FOR COMMERCIAL FRONTAGES



- (a) **Minimum Frontage Occupancy. All buildings facing Streets or Public Frontages shall occupy a minimum Frontage Occupancy percentage within the Build-To-Zone according to 270-15A (F) (4) for each frontage.**

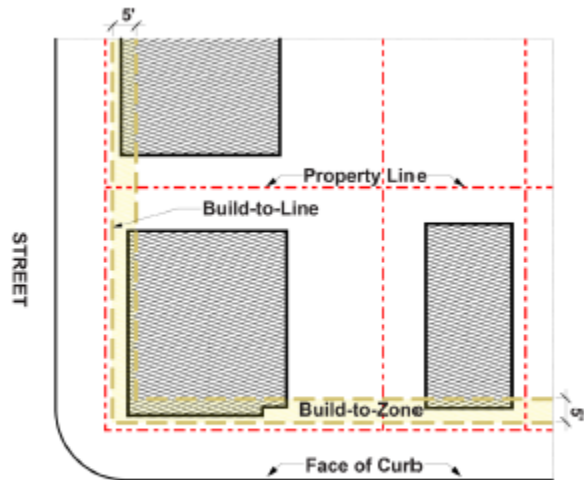
DOWNTOWN AND CROTON AVENUE OVERLAY DISTRICTS

Village of Ossining

FRONTAGE TYPES

BUILD-TO-ZONE

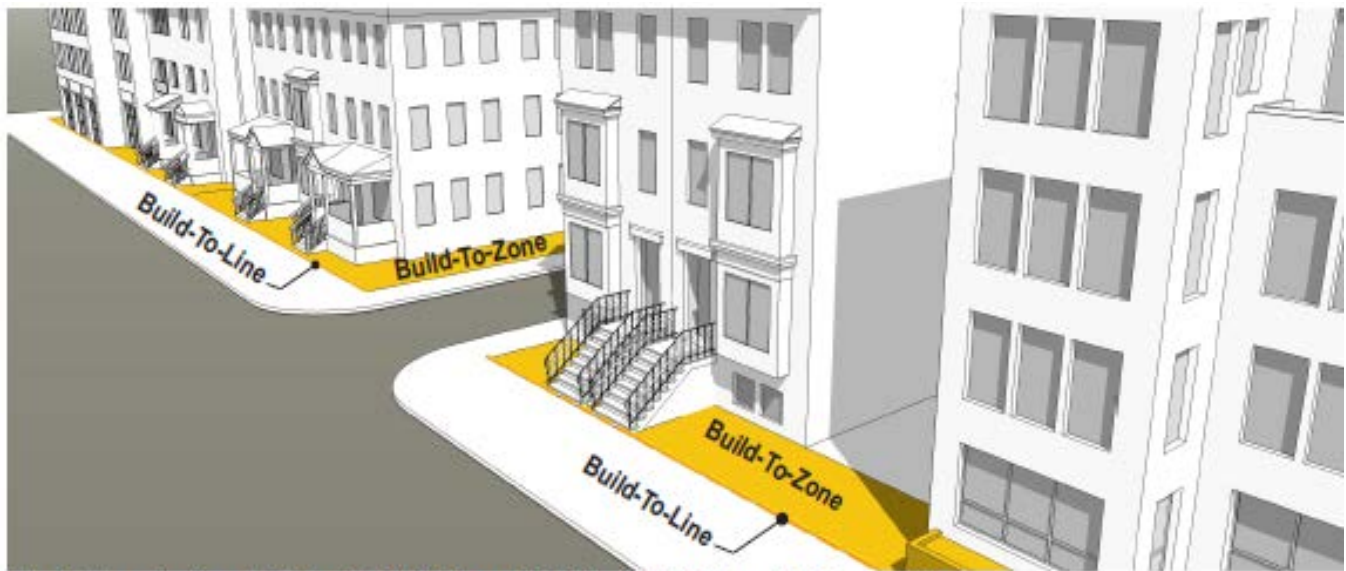
Section 270 15A.F



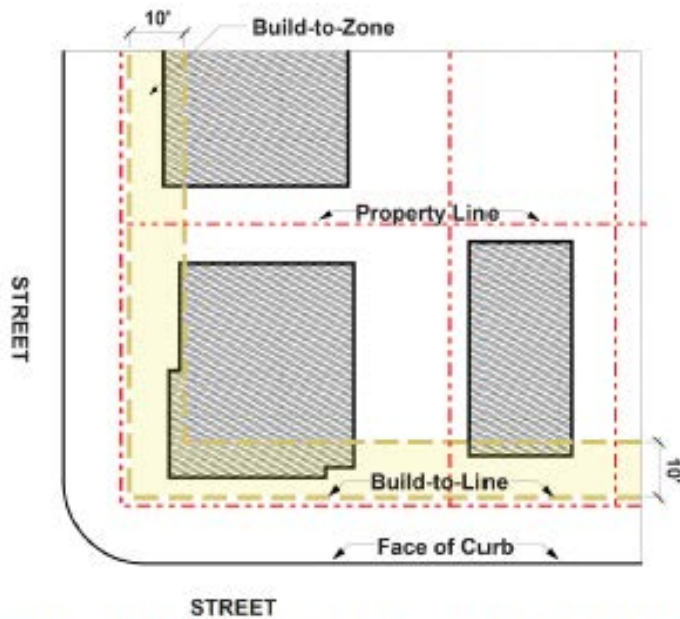
STREET

Plan diagram showing examples of building placements for FR-1 Storefront Frontage and FR-2 Professional Frontage with a Five Foot Build-To-Zone

Section 270-15A (F) (3) BUILD-TO-ZONE FOR RESIDENTIAL FRONTAGES



Street Frontages showing a typical Ten Foot Build-To-Zone for FR-4 Stoop, FR-5 Porch, and FR-6 Forecourt Frontages

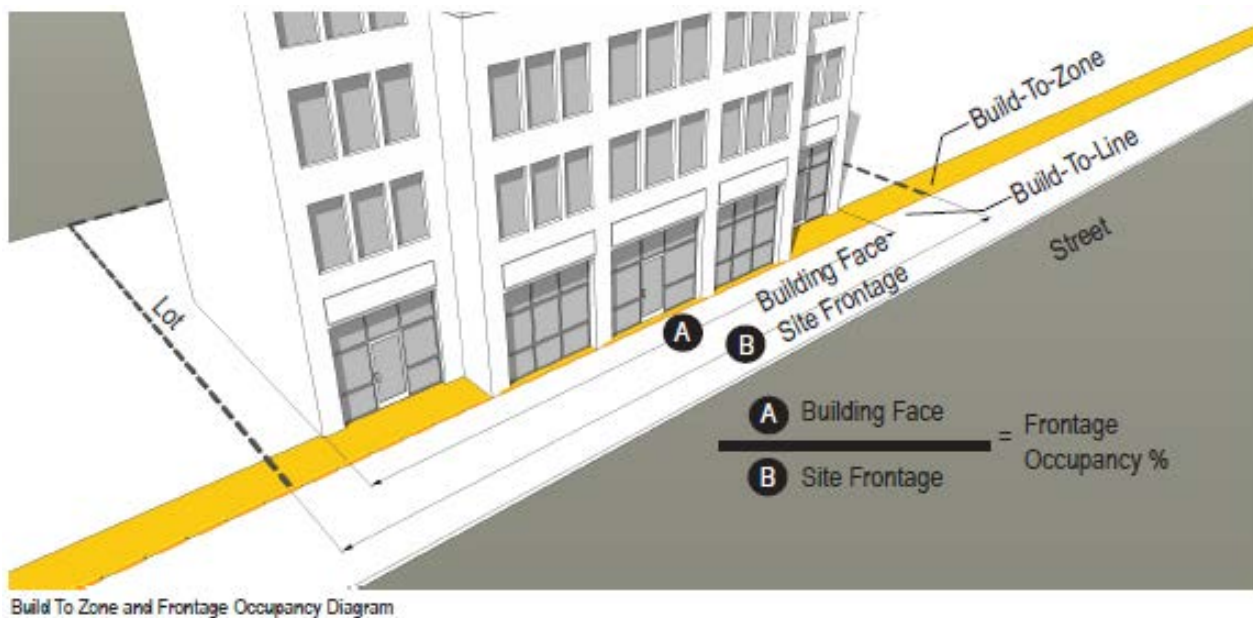


Plan diagram showing examples of building placements for FR-4 Stoop, FR-5 Porch, and FR-6 Forecourt Frontages with a Ten Foot Build-To-Zone

Section 270-15A (F) (4) MINIMUM FRONTAGE OCCUPANCY

- (a) **Minimum Frontage Occupancy.** The face of the building for the required minimum building height and building length shall occupy the Build-To-Zone for a minimum percentage, as defined by Table F (4), of the total width of the Site Frontage facing each Street. Compliance shall be determined by measuring the building face located within the Build-To-Zone divided by the Site Frontage for each Street Frontage.
- (b) **Corner sites shall have two private frontages, one facing each street.**

Table F (4) - Frontage Occupancy Requirements	
Street Frontage Types	Minimum Frontage Occupancy Required
Primary Commercial Street Frontage	60%
Secondary Commercial Street Frontage	40%
Neighborhood Commercial Street Frontage	40%
Neighborhood Street Frontage	30%
Greenway Street Frontage	None required
Service Street Frontage	None required



Section 270-15A (F) (5) STOREFRONT FRONTAGE: FR-1

- (a) **Storefront Frontage FR-1 defines a commercial frontage with high visibility to first floor commerce and an at grade entrance. The ground plane within the Build-To-Zone should be a hardscape continuation of the sidewalk.**

PRIVATE FRONTAGE

- (b) **Active Edge Required - Average door separation distance along the frontage shall be no greater than 50 feet**

- (c) **Allowed frontage edging elements**

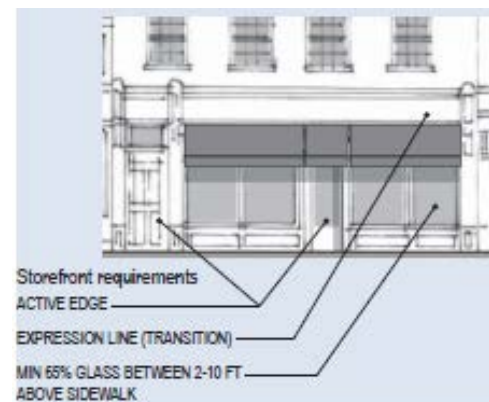
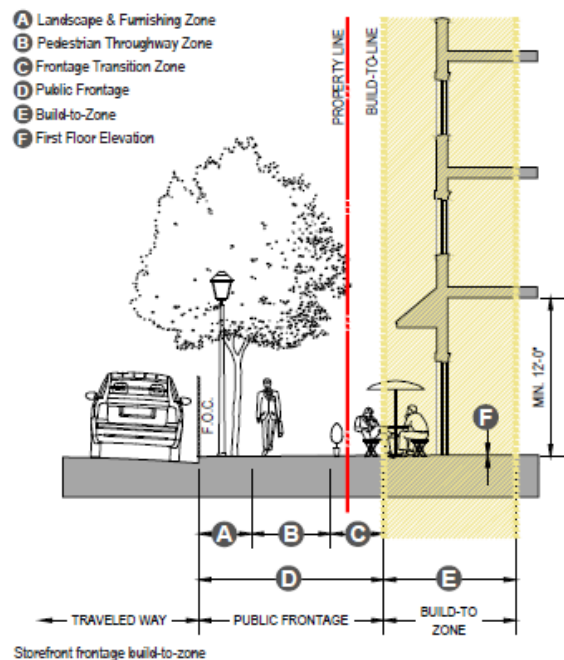
- (1) **EE-1**
- (2) **EE-2**
- (3) **EE-3**
- (4) **EE-6**
- (5) **EE-7**

- (d) **Glazing Requirement:**

- (1) **A minimum of 65% of the street-level, street facing building area located between 2' & 10' above the sidewalk shall provide clear, non-reflective glass.**

- (e) **Function of the Build-to-Zone**

- (1) **Allows for entrance alcoves and expanded sidewalk area for outdoor dining.**
- (2) **Allows for facade articulation and inclusion of recessed building elements.**
- (3) **Allows for alignment with existing neighboring buildings.**
- (4) **Prohibits garage doors within the Build-To-Zone for individual private garages**



- (5) First Floor Elevation at the primary entrance shall be at the same grade as the sidewalk or provide an ADA compliant accessible route to that entrance

Section 270-15A (F) (6) PROFESSIONAL FRONTAGE: FR-2

- (a) Professional Frontage FR-2 defines commercial frontages with an at grade entrance. The ground plane within the Build-To-Zone should be a hardscape continuation of the sidewalk.

PRIVATE FRONTAGE

- (b) Active Edge Required - Average door separation distance along the frontage shall be no greater than 50 feet

- (c) Allowed frontage edging elements

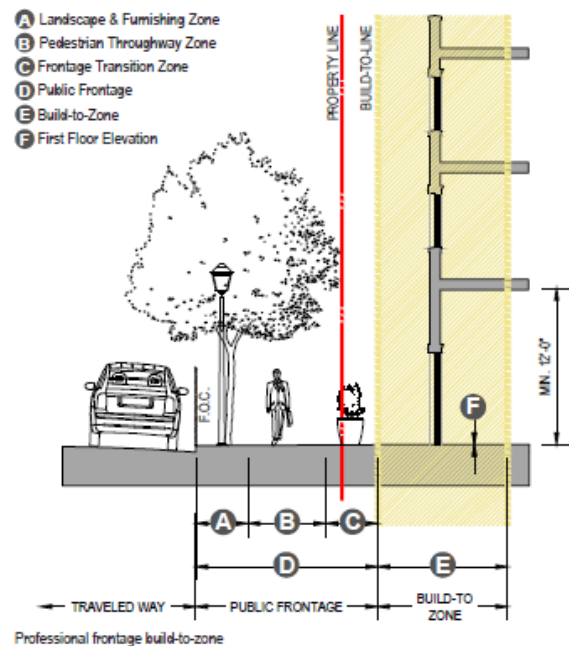
- (1) EE-1
- (2) EE-2
- (3) EE-3
- (4) EE-6
- (5) EE-7

- (d) Glazing Requirement:

- (1) A minimum of 40% of the street-level, street facing building area located between 2' & 10' above the sidewalk shall provide clear, non-reflective glass.

- (e) Function of the Build-to-Zone

- (1) Allows for entrance alcoves.
- (2) Allows for facade articulation and inclusion of recessed building elements.
- (3) Allows for alignment with existing neighboring buildings.
- (4) Prohibits garage doors within the Build-To-Zone for individual private garages
- (5) First Floor Elevation at the primary entrance shall be at the same grade as the sidewalk or provide an ADA compliant accessible route to that entrance.



Section 270-15A (F) (7) PARK FRONTAGE: FR-3

- (a) Park Frontage FR-3 defines the edge of greenway areas by placing landscaping, furnishings, pedestrian ways and lighting as a transition to parking lots and buildings.

PRIVATE FRONTAGE

- (b) Active Edge Required - None

- (c) Allowed frontage edging elements

(1) EE-1

(2) EE-2

(3) EE-3

(4) EE-4

(5) EE-5

(6) EE-6

(7) EE-7

- (d) Park frontage clearway requirement

(1) A sidewalk or trail of at least 8' wide shall be provided to create a linear park experience.

(2) The park frontage line shall be located within 20' of the areas designated on the Regulating Plan.

- (e) Glazing requirement

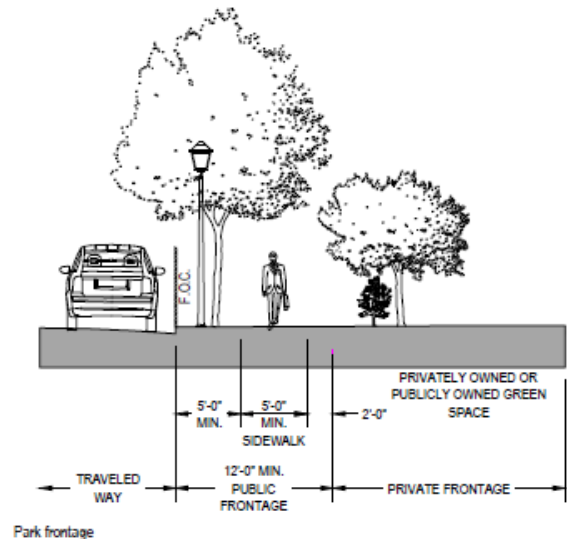
(1) None

- (f) Function of the Build-to-Zone

(1) Park Frontage line shall be set by the Regulating Plan to create a continuous greenway pedestrian experience while aligning with adjacent walkways and greenways.

(2) Park Frontages do not have required Build-To-Zones

(3) Park Frontages shall provide lawns, landscape areas, and/or low plantings.



Section 270-15A (F) (8) SERVICE FRONTAGE: FR-4

- (a) **Service Frontage FR-4 defines a frontage in which the service functions of a building can be placed along a street.**

PRIVATE FRONTAGE

- (b) **Permitted frontage edging elements**

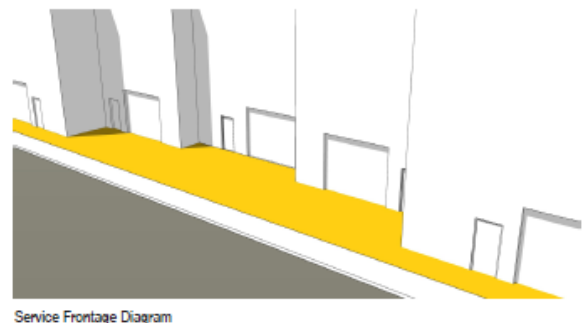
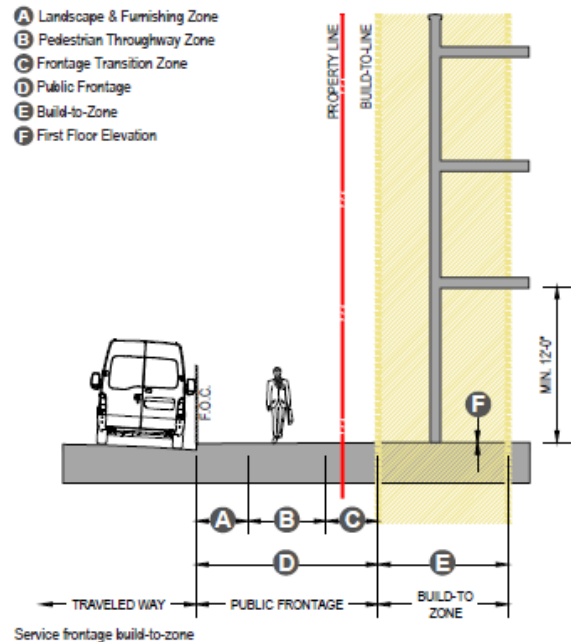
- (1) **EE-1**
- (2) **EE-2**
- (3) **EE-3**
- (4) **EE-4**
- (5) **EE-6**
- (6) **EE-7**

- (c) **Glazing requirement**

- (1) **None**

- (d) **Function of the Build-to-Zone**

- (1) **Allows for entrance alcoves.**
- (2) **Allows for facade articulation and inclusion of recessed building elements.**
- (3) **Allows for alignment with existing neighboring buildings.**
- (4) **Allows garage doors within the Build-To-Zone for individual private garages and loading docks.**
- (5) **Allows parking or loading within the frontage, provided a landscaped hedge or low fence is constructed to shield the view of parking between the street and parking area.**



Section 270-15A (F) (9) FORECOURT FRONTAGE: FR-5

- (a) Forecourt frontage FR-5 permits front courtyard areas for lawns, gardens and plazas.

PRIVATE FRONTAGE

- (b) Active edge required – Average door separation distance along the frontage shall be no greater than 80 feet.

- (c) Permitted frontage edging elements

(1) EE-1

(2) EE-2

(3) EE-3

(4) EE-4

(5) EE-6

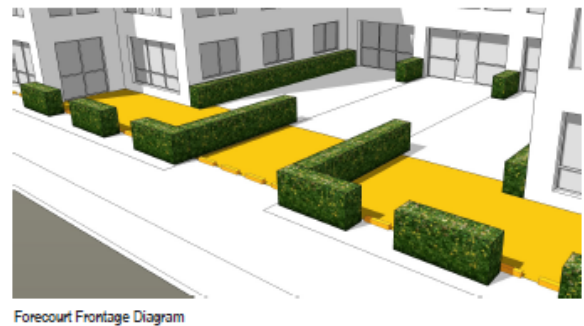
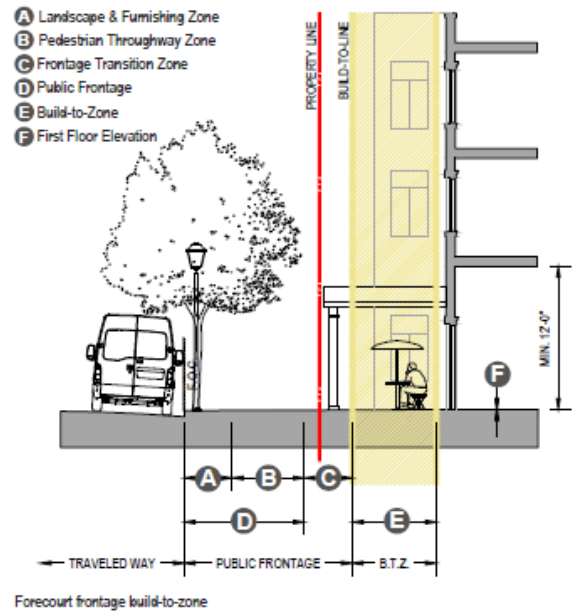
(6) EE-7

- (d) Glazing requirement

- (1) A minimum of 30% of the street-level, street facing building area located between 3' & 13' above the first floor elevation shall provide clear, non-reflective glass

- (e) Function of the Build-to-Zone

- (1) Allows for entrance alcoves.
- (2) Allows for facade articulation and inclusion of recessed building elements.
- (3) Allows for alignment with existing neighboring buildings.
- (4) Prohibits garage doors within the Build-To-Zone for individual private garages.



Section 270-15A (F) (10) HILLSIDE FRONTAGE: FR-6

- (a) Hillside Frontage FR-6 is only permitted where the first floor elevation is greater than or equal to a 5'0" vertical grade change from the street to the primary entrance. These frontages allow additional setbacks from the streets required for site access. The frontage transition zone permits up to three stair risers, the ground plane within the Build-to-Zone can be a hardscape continuation of the sidewalk or landscaped.

PRIVATE FRONTAGE

- (b) Active edge required – Average door separation distance along the frontage shall be no greater than 80 feet.

- (c) Permitted frontage edging elements

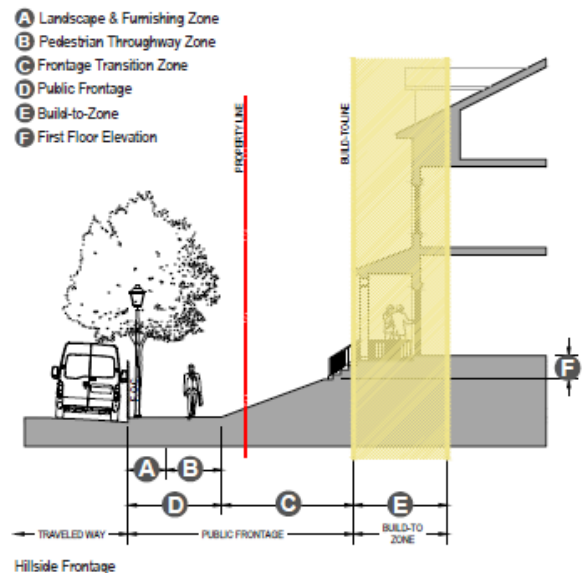
- (1) EE-1
- (2) EE-2
- (3) EE-3
- (4) EE-4
- (5) EE-6
- (6) EE-7

- (d) Glazing requirement

- (1) A minimum of 30% of the street-level, street facing building area located between 3' & 13' above the first floor elevation shall provide clear, non-reflective glass

- (e) Function of the Build-to-Zone

- (1) Allows for entrance alcoves.
- (2) Allows for facade articulation and inclusion of recessed building elements.
- (3) Allows for alignment with existing neighboring buildings.
- (4) Prohibits garage doors within the Build-To-Zone for individual private garages.



270-15A (F) (11) NEIGHBORHOOD STOREFRONT FRONTAGE: FR-7

- (a) Neighborhood Storefront Frontage FR-7 defines commercial frontages with high visibility to first floor commerce and an at grade entrance. The ground plane within the Build-To-Zone can be a hardscape continuation of the sidewalk or landscaped (e.g. rain gardens).

PRIVATE FRONTAGE

- (b) Active edge required – Average door separation distance along the frontage shall be no greater than 50 feet.

- (c) Permitted frontage edging elements

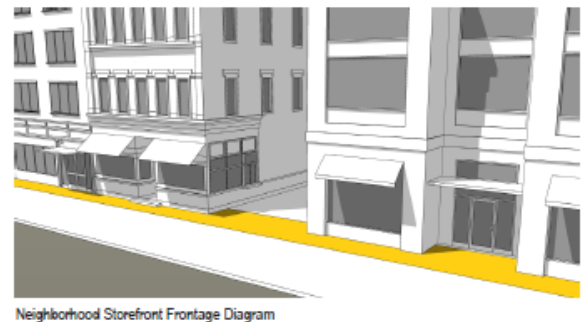
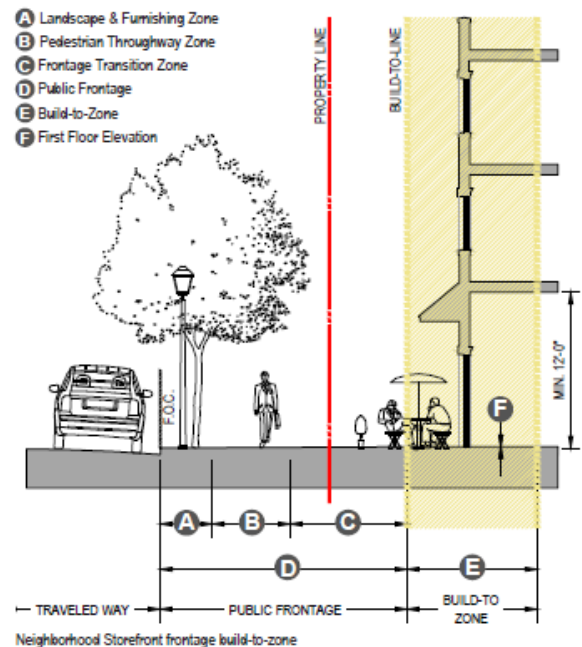
- (1) EE-1
- (2) EE-2
- (3) EE-3
- (4) EE-6
- (5) EE-7

- (d) Glazing requirement

- (1) A minimum of 60% of the street-level, street facing building area located between 2' & 10' above the sidewalk shall provide clear, non-reflective glass

- (e) Function of the Build-to-Zone

- (1) Allows for entrance alcoves.
- (2) Allows for facade articulation and inclusion of recessed building elements.
- (3) Allows for alignment with existing neighboring buildings.
- (4) Prohibits garage doors within the Build-To-Zone for individual private garages.



270-15A (F) (12) STOOP FRONTAGE: FR-8

- (a) Stoop Frontage FR-8 defines frontages with an elevated entrance to provide additional privacy to the first floor occupants. The frontage transition zone permits up to three stair risers, the ground plane within the Build-To-Zone can be a hardscape continuation of the sidewalk or landscaped.

PRIVATE FRONTAGE

- (b) Active edge required – Average door separation distance along the frontage shall be no greater than 80 feet.

- (c) Permitted frontage edging elements

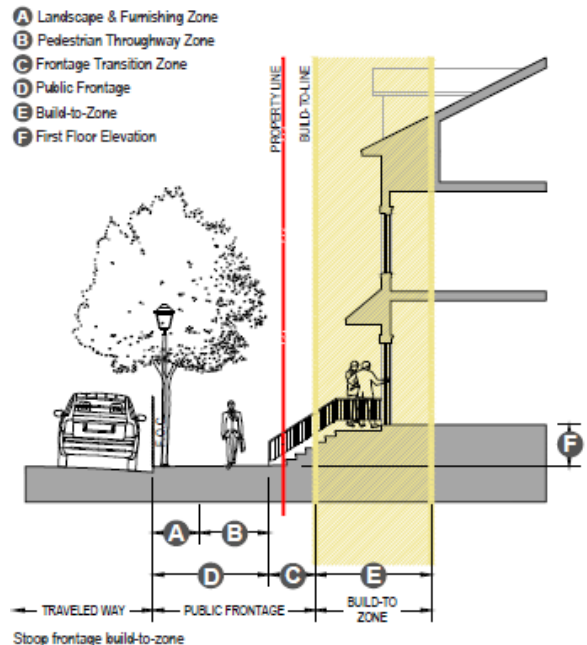
- (1) EE-1
- (2) EE-2
- (3) EE-3
- (4) EE-4
- (5) EE-6
- (6) EE-7

- (d) Glazing requirement

- (1) A minimum of 30% of the street-level, Private Frontage facing building area located between 2' & 10' above the first floor elevation shall provide clear, non-reflective glass.

- (e) Function of the Build-to-Zone

- (1) Allows for entrance alcoves.
- (2) Allows for facade articulation and inclusion of pronounced and/or recessed building elements.
- (3) Allows for alignment with existing neighboring buildings.
- (4) Prohibits garage doors within the Build-To-Zone for individual private garages.



270-15A (F) (13) PORCH FRONTAGE: FR-9

- (a) Porch Frontage FR-9 permits a frontage with a semi-public porch and an elevated entrance providing a greater degree of privacy from the street. The frontage transition zone permits up to three stair risers, the ground plane within the Build-To-Zone can be a hardscape continuation of the sidewalk or landscaped.

PRIVATE FRONTAGE

- (b) Active edge required – Average door separation distance along the frontage shall be no greater than 80 feet.

- (c) Permitted frontage edging elements

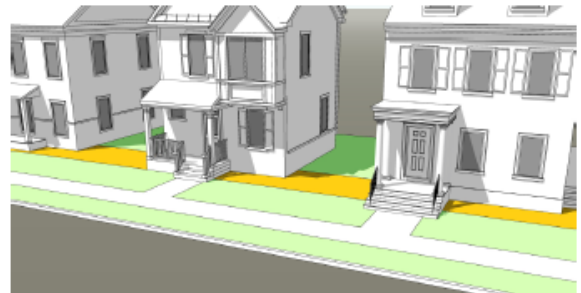
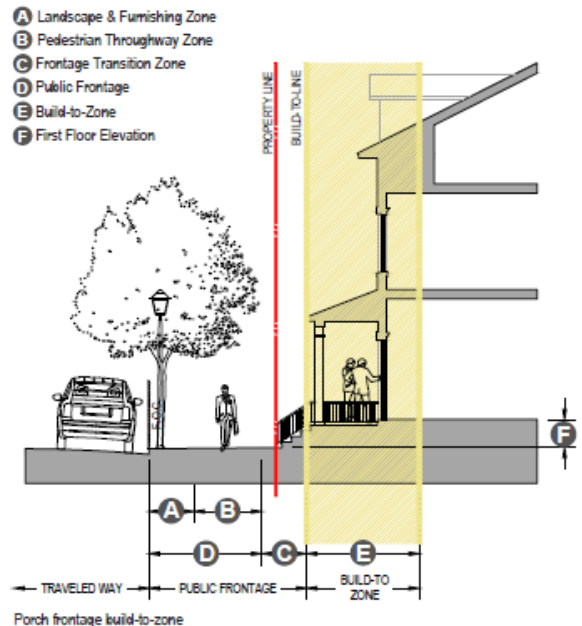
- (1) EE-1
- (2) EE-2
- (3) EE-3
- (4) EE-4
- (5) EE-6
- (6) EE-7

- (d) Glazing requirement

- (1) A minimum of 30% of the street-level, Private Frontage facing building area located between 2' & 10' above the first floor elevation shall provide clear, non-reflective glass.

- (e) Function of the Build-to-Zone

- (1) Allows for entrance alcoves and expanded sidewalk area for outdoor dining.
- (2) Allows for facade articulation and inclusion of pronounced and/or recessed building elements.
- (3) Allows for alignment with existing neighboring buildings.
- (4) Prohibits garage doors within the Build-To-Zone for individual private garages.



270-15A (F) (14) YARD FRONTAGE: FR-10

- (a) Yard Frontage FR-10 defines a frontage with a landscaped front yard and an elevated entrance. Up to three stair risers can be placed within transition zone, and the ground plane within the Build-To-Zone can be hardscape continuation of sidewalk or landscaped (e.g. rain gardens).

PRIVATE FRONTAGE

- (b) Active edge required – Average door separation distance along the frontage shall be no greater than 80 feet.

- (c) Frontage edging elements allowed

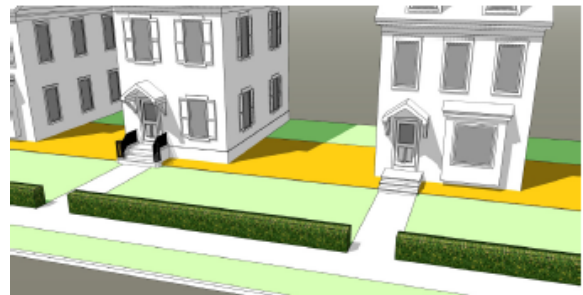
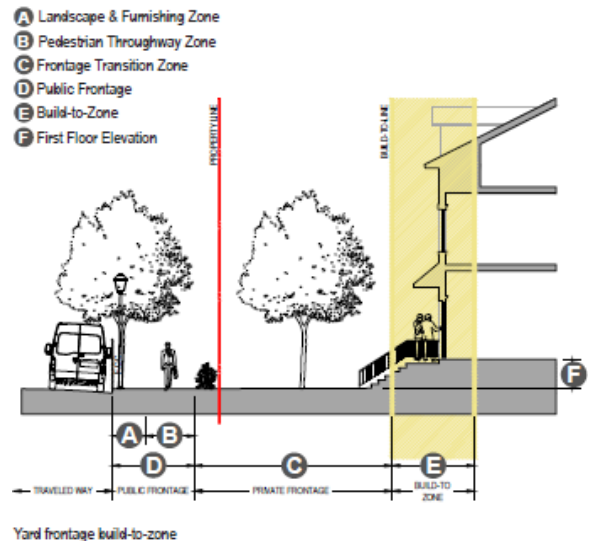
- (1) EE-1
- (2) EE-2
- (3) EE-3
- (4) EE-4
- (5) EE-6
- (6) EE-7

- (d) Glazing requirement

- (1) A minimum of 30% of the street-level, Private Frontage facing building area located between 2' & 10' above the first floor elevation shall provide clear, non-reflective glass.

- (e) Function of the Build-to-Zone

- (1) Allows for entrance alcoves.
- (2) Allows for facade articulation and inclusion of recessed building elements.
- (3) Allows for alignment with existing neighboring buildings.
- (4) Prohibits garage doors within the Build-To-Zone for individual private garages.



Yard Frontage Diagram

Section 270-15A (G) EDGING ELEMENT STANDARDS

Permitted Edging Elements. For all Private Frontages or Park Frontages as designated on the Downtown and Croton Ave Overlay Districts Regulating Plans, one or more of the following permitted Edging Elements shall be provided according to the table below and the corresponding Edging Element Standards in Section 270-15A (G).

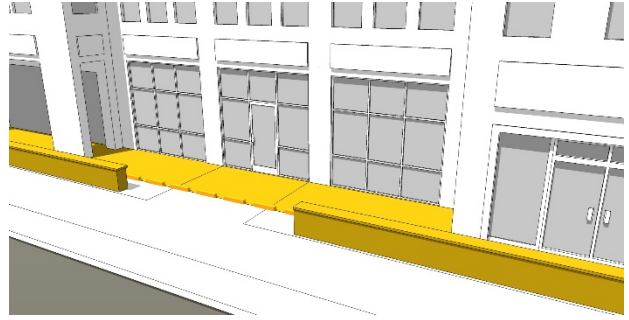
Table G (1) - Edging Elements								
Lot Frontage Types		Low Wall	Raised Edge*	Stairs*	Ornamental Fence	Privacy Fence	Planters	Landscaped Edge
		EE-1	EE-2	EE-3	EE-4	EE-5	EE-6	EE-7
Storefront	FR-1	P	P	P	X	X	P	P
Professional	FR-2	P	P	P	X	X	P	P
Park	FR-3	P	P	P	P	P**	P	P
Service	FR-4	P	P	P	P	P**	P	P
Forecourt	FR-5	P	P	P	P	X	P	P
Hillside*	FR-6	P	P	P	P	X	P	P
Neighborhood Storefront	FR-7	P	P	P	X	X	P	P
Stoop*	FR-8	P	P	P	P	X	P	P
Porch*	FR-9	P	P	P	P	X	P	P
Yard*	FR-10	P	P	P	P	X	P	P

* Additional building standards for railing may apply.

** Privacy fences shall be used for screening of utility and service areas and shall be no taller than 6'-6".

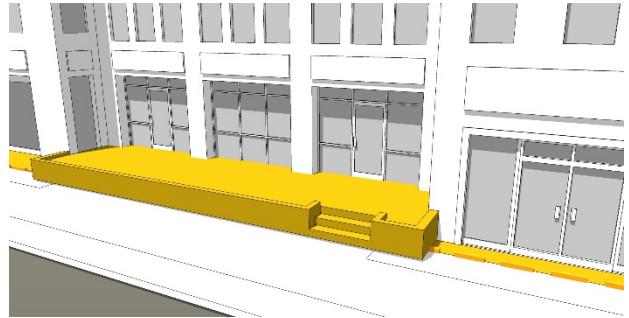
270-15A (G) (1) LOW WALL: EE-1

Masonry wall, maximum 48" in height (brick, concrete, stone), provided that at least 50% of the area above 48" is transparent to allow for visibility to the first floor windows.



270-15A (G) (2) RAISED EDGE: EE-2

The intent is to separate areas with different intensity of use with up to 48" of difference in floor planes, provided that at least 50% of the area above 48" is transparent to allow for visibility to the first floor windows.



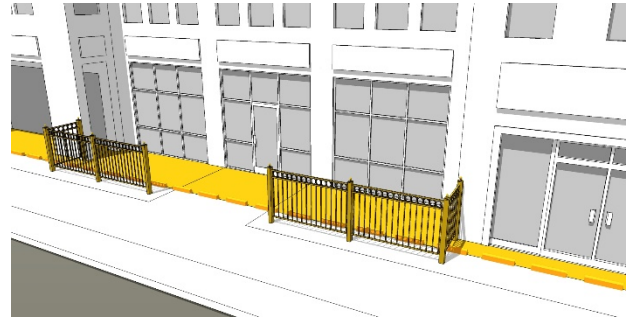
270-15A (G) (3) STAIRS: EE-3

The intent is to separate areas with different intensity of use with up to 48" of difference in floor planes provided that at least 50% of the area above 48" is transparent to allow for visibility to the first floor windows.



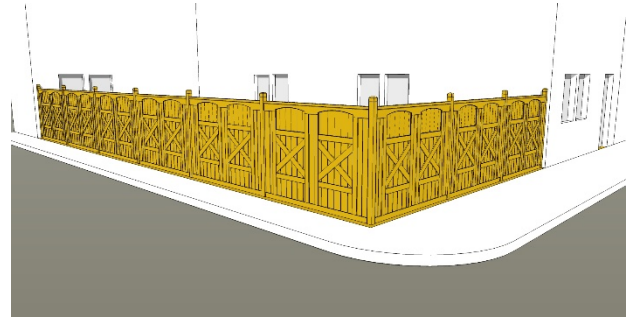
270-15A (G) (4) ORNAMENTAL FENCE: EE-4

A transparent ornamental fence, not chain link, with a maximum height of 42".



270-15A (G) (5) PRIVACY FENCE: EE-5

A privacy fence with a maximum height of six feet six inches. Fences facing public frontages shall not be constructed of chain link, barbed wire or similar materials.



270-15A (G) (6) PLANTERS: EE-6

Planters no higher than 42" in height, provided that at least 50% of the area above 42" is transparent to allow for visibility to the first floor windows.



270-15A (G) (7) LANDSCAPED EDGE: EE-7

A landscaped edge of flowers, plants or a hedge, provided that at least 50% of the area is transparent to allow for visibility to the first floor windows.



Section 270-15A (H) DESIGN STANDARDS

(1) Civic Space Design Standards

- (a) **Civic Space Design. The Planning Board shall consider the following criteria during its site plan review process to determine whether a civic space design is acceptable.**

Civic Spaces:
Shown below are examples of Civic Spaces.

(b) **Required Civic Spaces Area**

- [1] **For sites greater than 10,000 SF within the Downtown Overlay District, a minimum of 7.5% of the total lot area of the development tract shall be permanently preserved as Civic Space that conforms to the standards of this Section.**



Courtyard - A civic space with active frontages on at least three sides



Green - A civic space with active frontages on at least two sides

- [2] **Fee in Lieu of Civic Space. The Village Board of Trustees shall set a Fee in Lieu of Civic Space for each 1,000 SF, or portion thereof, of a required Civic Space and may amend**



Square - A civic space with active frontages on at least one side.

- this amount as it deems appropriate. An applicant for a Downtown Overlay District Development may choose to either construct the Civic Space as required or pay the Fee in Lieu of Civic Space.**

- [3] **The ongoing maintenance and operation of Civic Spaces shall be the responsibility of the applicant unless the Village or another entity agrees to assume these responsibilities according to terms that are acceptable to the Village.**

- [4] **Main Street and Spring Street Civic Spaces: If the applicant does not want to provide civic space in locations shown on the Regulating**

Plan, the applicant may propose an alternate configuration on-site with approval of the Planning Board.

(c) Civic Space Form and Access

- [1] The required civic space(s) shall be provided in the form of courtyards, greens, squares or pedestrian passages and these spaces shall be placed along and connect to one or more the public frontages on pedestrian passages.**
- [2] All civic spaces shall provide pedestrian access from a public sidewalk via a publicly accessible pedestrian way or a private walkway open to the public at least 16 hours per day.**
- [3] A civic space must provide active or passive uses designed to bring regular pedestrian, civic and/or commercial activity to the Site.**
- [4] Above grade stormwater management basins, drainage channels and required buffers shall not be used to meet the minimum civic space requirements.**
- [5] The civic spaces shall include landscaping, pathways and street furniture and may contain artwork and/or fountains. Pathways should include decorative paving materials such as brick, stone, paving block or patterned concrete.**
 - [a] Where a civic space is proposed on a development site adjacent to an existing building not controlled by the Applicant, the Applicant shall provide Edging Elements as defined in Section 270-15A (G) and landscaping to buffer any adjacent areas of blank walls or service uses.**
 - [b] A civic space may include buildings provided that they are designed to activate the civic use of the space and provide public access. Buildings and temporary structures within civic spaces may be as low as one story in height.**
- [6] Civic Space Frontage Occupancy**
 - [a] Civic spaces shall be mapped and measured on the site plan to designate a Build-To-Zone with a total linear length along the edges of the proposed civic space excluding the length of the edge along the street and/or the length of the pedestrian way conforming to its Frontage Occupancy requirements.**
 - [b] Civic spaces shall provide a minimum 60% frontage occupancy along its edges, unless the Planning Board determines that a lower standard is permitted.**

[c] All Private and Public Frontage requirements required on the Regulating Plan along the street or greenway will also be required along at least an equivalent length of the Civic Space Private Frontage set back away from the street or public way.

[d] The Build-To-Line and corresponding Build-To-Zone approved by the Planning Board for a civic space may be parallel to or at any angle to the street.

[7] New buildings contiguous to a civic space shall provide Build-To-Zone(s) and Street Wall(s) as required by the Street Type designated on the nearest Street on the Regulating Plan Map. Where existing buildings front onto a civic space, the Planning Board shall determine the minimum standards for civic space frontage occupancy consistent with the intent of 270-15A (H) (1), while recognizing the challenges of retrofitting existing buildings.

(2) Landscaping and Buffering Guidelines

Chapter 9 - Land Forms of the Architectural Design Guidelines for the Village of Ossining shall serve as a reference source for the Planning Board to consider when evaluating the landscape design of developments within the Downtown Overlay District or Croton Avenue Overlay District. In addition to these guidelines, the Planning Board shall consider the following landscape design guidelines during its review process. The requirements of §270-34 General landscaping and environmental requirements; steep slopes shall be applicable to all projects within the Downtown and Croton Ave Overlay Districts. Where space permits, each site should incorporate a combination of trees, shrubs, groundcovers, and potted plants into landscaping plans with emphasis on use of native plants. Monocultures should be avoided.

(a) Street Trees.

[1] Shade trees, a minimum of 2" in caliper, should be provided at an average rate of one tree per 40 feet of street frontage. The trees should be positioned to correspond with parallel parking striping to allow for vehicle door swings.

[2] If a sidewalk is too narrow to provide a verge wide enough for street trees, then a combination of potted plants, window boxes and/or hanging baskets should be provided in lieu of the trees.

(b) Parking Lot Planting. Portions of off-street parking areas that are visible from street frontages should be landscaped with a combination of evergreen shrubs, low walls or fences and shade or ornamental trees.

[1] A 3 foot wide buffer strip should be provided between a parking lot and a street, civic space, sidewalk or pedestrian way. A buffer strip

may be comprised of a landscape buffer and/or a low wall or ornamental fence.

- [2] Landscape buffer strips should contain a continuous hedge of 3-foot tall evergreen or dense deciduous shrubs, and one 2" caliper shade or ornamental tree per 30 linear feet of frontage.
- [3] If a wall or ornamental fence is proposed, low-growing shrubs and/or perennial plantings should also be provided on the street frontage side. Shade trees should be provided in adjacent interior islands at the above rate.
- [4] Interior parking lot planting should include one 2" caliper shade tree for every 20 parking spaces. Parking lots with 25 or more spaces should be divided by planting islands, planted with trees and shrubs. Additional plantings may include low-growing shrubs or ornamental grasses and/or stormwater management feature gardens.
- [5] The non-street frontage perimeters of parking lots, where buffer plantings are not recommended, should be planted with a combination of shrubs, trees and perennials to soften their appearance from adjacent uses.

(c) Fences, Walls and Screens. Where permitted by the Edging Elements for the designated and permitted Frontage Types and Pedestrian Passages, fences and walls may be used to define street walls, provide privacy, and screen views. For those locations not facing Streets or Pedestrian Passages, fences, walls and screens should be controlled by this section. The finished side should face the street or adjacent property.

- [1] Fences and walls should be located within the Build-To-Zone, alongside and adjacent to rear property lines, unless the fences and walls are being used for privacy or visual screening of utilitarian areas. They should not impede clear sight distances at intersections or driveways.
- [2] Fences, walls and hedges should be counted as street walls for up to 20% of the recommended minimum frontage.
- [3] Recommended maximum fence and wall heights:
 - [a] Fences and walls along street frontages and public sidewalks: 48 inches.
 - [b] Fences and walls along lot lines or for privacy or screening: 6 1/2 feet.
- [4] Approved fence and wall materials:

- [a] Fence and gate materials may include wood, wood composites, iron and metal, including decorative perforated sheet metal. Sharp-pointed or spear-headed pickets of less than one-half inch in diameter are discouraged. Chain link, woven wire, barbed wire and vinyl fences are strongly discouraged.
- [b] Wall and pier materials include whole or veneer brick or stone, cultured stone, stucco over masonry, and finished concrete. Unfinished concrete block and glass block is discouraged.
- [c] Fences, walls and piers may be used in combination to reflect the development's architectural character.
- [d] Pedestals and gates. Blocks or pedestals for fence posts should not project into or above the surface of an adjacent sidewalk. All gates should swing inwardly; and no gate should swing outwardly over any sidewalk, avenue, street, or road.

(3) Architectural Guidelines

The Architectural Design Guidelines for the Village of Ossining shall serve as the primary source for the Planning Board to consider when evaluating the architectural design of developments within the Downtown Overlay District or Croton Avenue Overlay District. In addition to these guidelines, the Planning Board shall consider the following architectural design guidelines during its review process for buildings, site walls and parking structures.

- (a) The buildings in the Downtown and Croton Ave Overlay Districts should relate to the context and fabric of existing places in the Village of Ossining and typically found within the older downtown building types in New York villages. The size, mix proportion and form of buildings should emulate the heritage character of these traditional downtown areas while avoiding historicism or copying. All buildings should have vertical and horizontal modulation and articulation reflecting the traditional streetscape building spacing and dimensional variations of typical New York villages, including:
- (b) Horizontal building modulation: Building facades should conform to the following standards:
 - [1] The maximum width (as measured horizontally along the building exterior) without building modulation should be 60 feet.
 - [2] The minimum depth of modulation should be two feet. The minimum width of modulation should be 15 feet. When the principal use of the building is for the parking of motor vehicles, the depth of such modulation should be a minimum of 3 1/2 feet. No modulations are

recommended on a wall of a parking facility which does not front on a public street or pedestrian way.

[3] Roof decks or balconies may be used as all or part of the building modulation.

[4] The requirements of the horizontal building modulation subsection should be considered satisfied if existing building facades of existing adjacent structures are preserved and incorporated into the proposed building.

(c) Modulated roofline: Roofs are a design element and should relate to the building facade articulations. The roofline of all facades visible from a street or public park, or open space should be modulated according to the following standards:

[1] For flat roofs or facades with a horizontal eave, fascia, or parapet: change roofline so that no unmodulated segment of roof exceeds 60 feet. Minimum vertical dimension of roofline modulation is the greater of two feet or 0.1 multiplied by the wall height (finish grade to top of wall).

[2] For gable, hipped, or shed roofs: a minimum slope of 5 feet vertical to 12 feet horizontal.

[3] Other roof forms, such as arched, vaulted, dormer, or saw-toothed, may satisfy this design principle if the individual segments of the roof with no change in slope or discontinuity are less than 60 feet in width (measured horizontally).

(d) Building articulation should be accomplished with design elements such as the following, so long as the articulation interval does not exceed 60 feet.

[1] Repeating distinctive window patterns at intervals less than the articulation interval.

[2] Providing a balcony or bay window for each articulation interval.

[3] Changing the roofline by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the modulation or articulation interval.

[4] Changing materials with a change in building plane.

(e) Vertical articulation: To moderate the vertical scale of buildings, the design should include techniques to clearly define the building's top, middle and bottom. The following techniques are suggested methods of achieving vertical articulation:

- [1] Top: sloped roofs, strong eave lines, cornice treatments, horizontal trellises, etc.
 - [2] Middle: windows, balconies, material changes, railings and similar treatments that unify the building design.
 - [3] Bottom: pedestrian-oriented fronts, pedestrian scale building details and awnings.
 - [4] Where appropriate, the applicant should coordinate the horizontal elements (i.e., cornices, window lines, arcades, etc.) in a pattern and height to reflect similar elements on neighboring buildings that exhibit the Village's desired scale and character.
- (f) Materials: Building exteriors should be constructed from high quality, durable materials. Building materials should not change at the corners closest to the street, but instead should change at internal corners furthest from the street or at least 4 feet from the outside corners. Preferred exterior building materials that reflect the Village's desired traditional downtown street character are as follows:
- [1] Masonry, including brick and stone.
 - [2] Cast stone or tile.
 - [3] Wood or cementitious ("Hardiplank" or equal) horizontal clapboard or vertical board and batten siding. Vinyl or other artificial siding materials are discouraged along street frontages and public ways, but may be permitted by the Planning Board on a case by case basis on architecturally subordinate facades.
 - [4] All other materials subject to approval by the Planning Board.
 - [5] If concrete or concrete blocks (concrete masonry units) are used for walls that are visible from a street, public park or open space or pedestrian way, then the concrete or concrete block construction should be architecturally treated in one or more of following ways:
 - [a] Use of textured surfaces such as split face or grooved.
 - [b] Use of other masonry types such as brick, glass block, or tile in conjunction with the concrete or concrete blocks.
 - [c] Use of decorative coursing to break up blank wall areas.
- (g) Fenestration. The arrangement, proportion and design of windows and doors (fenestration) should conform to the following:
- [1] The height to width ratio of single openings and group openings are to be proportionately scaled to the wall.

- [2] Door and window details and trim suitably scaled to the wall.
- [3] Reduce large expanses of glass used in windows and doors to smaller component windows reminiscent of traditional main street vernacular when adjacent to existing buildings, sidewalks or pedestrian ways.
- [4] The total square footage of windows along a facade facing a street should be a minimum of 15% of the square footage of the facade.
- (h) Blank walls should be discouraged along any exterior wall facing a street, parking area or pedestrian way. Exterior walls in these locations should have architectural treatments that are the same as the front facade, including consistent style, materials, fenestration and details.
- (i) Roofs.
 - [1] Slope: Roof pitches and overhangs should vary as necessitated by good architectural design and modulation requirements of the previous sections. However, flat roofs are discouraged as major architectural elements visible from a public street. A 5/12 roof slope or greater is the minimum standard for roofs visible from a public way. Mansard roofs, when constructed in the traditional form with appropriate step back from the exterior building wall line are discouraged. The upper roof of a Mansard may be flat or low pitch, providing it is not visible from ground level. Shed roofs, dormers, secondary roof forms, and roofs for porches may have a lower pitch, but in no case will the pitch be lower than 3.75 in 12. Significant roof overhangs are recommended to provide architectural interest, to create shadow lines, and to protect wall and siding from water and sun. Roof overhangs are highly recommended to provide passive energy conservation where possible.
 - [2] Penetrations: All roof stacks, flashings, vents or protrusions from the roof should be painted the same color as the roof. Roof stacks and plumbing vents should be placed on rear slopes of the roofs where possible.
 - [3] Solar: Photovoltaic and hot water heating panels are encouraged providing that on sloped roofs visible from a public street or right-of-way they should be installed flush on the roof plane and should not project above the roof surface by more than 6 inches. On flat roofs not plainly visible from ground level of a public way, solar panels may be mounted on brackets, providing they are no higher than 6 feet above the roof surface that they are mounted on.
 - [4] Materials: Roofs that are visible from ground level should be architectural dimensional composite shingles, wood shingles or

shakes, slate, tile, or prefinished metal standing or box seam. Combinations of roofing are encouraged when appropriate to the desired architectural character. Roofs not visible from a ground level should be white or light colored roofing material to provide improved energy efficiency.

(j) Parking Structures.

- [1] The design of parking structures should focus on screening views of cars at the street level, especially those parking structures facing Primary Commercial Street Frontages and Secondary Commercial Street Frontages and Neighborhood Commercial Street Frontages. Parking shall be prohibited at the street level, within 40 feet of the Street Wall along Primary Commercial Street Frontages so that an active use faces the street on the ground floor.

Section 2. Chapter 270, section 30 (Zoning, Parking and Loading Requirements) is amended with new matter underlined and deleted matter in **[brackets]**.

§ 270-30. Parking and loading regulations.

- A. Off-street parking. Off-street parking spaces, open or enclosed, are subject to the following provisions:
- (1) Off-street parking requirements for each District shall be as provided in Appendix C. For uses which do not fall within the categories listed in Appendix C, the Planning Board will determine the necessary parking needed to prevent frequent parking on the street by persons visiting or connected with each such use.
 - (2) Areas computed as parking spaces. Areas which may be computed as open or enclosed off-street parking spaces include any private garage, carport or other area available for parking, other than a street. Each space shall be independently accessible with the exception that one space behind each garage or carport space may be counted as a parking space to meet parking requirements. Otherwise, tandem parking with access from only one direction shall be computed as one space.
 - (3) All driveways, blacktop or loading docks must be at least four feet away from the property line in the following residential districts (S-50, **[S-75]**, S-100, S-125, **[T]**, MF-1, MF-2, PRD), **[and] all driveways, blacktop or loading docks must be at least two feet away from the property line in the following residential districts (S-75, T)**, and all driveways, blacktop or loading docks must be at least two feet away from the property line in nonresidential districts (PW-a, PW-b, PW-c, SP-N, SP-S, CDD, RDD, IR, O-R, VC, PC, NC-1, NC-2, GB and P-O) unless otherwise noted in Appendix B.

Section 3. Chapter 270 (Zoning), Appendix A (Use Tables), Table A-3 (Permitted, Conditional and Special Uses in Residential Districts) is amended as follows with new matter **in bold** and deleted matter in **[brackets]**.

USE	DISTRICT				
	S-125, S-100, S-75, S-50	T	MF-1, MF-2	PO	PRD
Residential Use Group					
Dwellings, single-family detached	p	p	p	p	p
Dwellings, single-family attached	np	np	p	p	p
Dwellings, two-family detached	np	[c] p	p	c	p
Dwellings, two-family attached	np	[np]p	p	c	p
Dwellings, multifamily	np	np	p	c	np
Commercial Use Group					
Adult entertainment uses	np	np	np	np	np
Animal-related uses, general	np	np	np	np	np
Animal-related uses, intensive	np	np	np	np	np
Bars or tavern uses	np	np	np	np	np
Cemeteries	c	c	c	c	c
Entertainment or recreation uses, indoor	np	np	np	np	np
Entertainment or recreation uses, outdoor	np	np	np	np	np
Lodging uses, bed-and-breakfasts	np	np	np	c	np
Lodging uses, hotels	np	np	np	np	np
Office uses, general	np	np	np	p	np
Office uses, live-work	np	np	np	c	np
Office uses, medical and dental	np	np	np	p	np
Parking uses, nonaccessory	np	c	c	c	np
Funeral parlors, taxidermists, mortuaries and crematoriums	np	np	np	p	np
Restaurants	np	np	np	np	np
Retail sales and service uses, sales oriented	np	np	np	np	np
Retail sales and service uses, personal service oriented	np	np	np	np	np
Retail sales and service uses, repair oriented	np	np	np	np	np
Retail sales and service uses, outdoor sales oriented	np	np	np	np	np
Vehicle-related uses, general	np	np	np	np	np
Vehicle-related uses, general plus	np	np	np	np	np
Vehicle-related uses, intensive	np	np	np	np	np

NOTE: The column under each zoning classification indicates whether the use is permitted (p), not permitted (np), conditionally permitted (c) or permitted as a special use (sp).

Section 4. Chapter 270 (Zoning), Appendix B (Bulk Requirements), Table B-2 (Bulk Requirements in Single-Family and Two- Family Residence Districts) is amended as follows with new matter in **bold** and deleted matter in **[brackets]**.

REQUIREMENT	DISTRICT					
	S-125	S-100	S-75	S-50	T*	P-O
Minimum lot area (sq. ft.)	15,000	10,000	7,500	5,000	7,500	10,000
Minimum lot width (ft.)	125	100	75	50	75	100
Minimum front yard (ft.)	45	30	30	30	30	25
Minimum side yard (one) (ft.)	30	20	[12] 8	8	[12] 8	10
Minimum side yard (both) (ft.)	60	45	[28] 20	18	[28]20	20
Lots with widths greater than the minimum	Lots with a greater width than the minimum lot width must have both side yard setbacks equal to 40% of the lot width with each side yard equaling a minimum of 45% of both side yard setbacks.					
Minimum rear yard (ft.)	45	40	30	30	30	20
Minimum livable floor area per dwelling unit (sq. ft.)	1,000	900	850	800	800	800
Maximum building height (stories/ ft.), whichever is less	2.5/35	2.5/35	2.5/35	2.5/35	2.5/35	2.5/35
Maximum impervious coverage (percent)	30	35	40	40	40	35
Maximum building coverage (percent)	20	25	30	30	30	25

*NOTE: The above bulk requirements may be waived in the T Two-Family District only by the Planning Board in the case of existing buildings being repurposed or reused for educational uses, primary and secondary educational uses, higher learning or places of worship as listed under Table A-3, Permitted, Conditional, and Special Permit Principal Uses in Residential Districts, upon a showing by the applicant of no significant impact on nearby properties. Minimum lot size for conditional uses is controlled by § 270-10C(1)(a) and shall not be waived.

Section 5. Effective Date.

This local law shall become effective upon filing with the Secretary of State pursuant to the Municipal Home Rule Law.

DOWNTOWN AND CROTON AVENUE OVERLAY DISTRICTS

Village of Ossining

Attachment B

Village of Ossining

Downtown and Croton Ave Overlay Districts

AMENDMENTS TO THE CODE OF THE Village of Ossining, NY

1. REVISE ZONING MAP TO ADD:

Downtown and Croton Ave Overlay Districts

The current Zoning Map of the Village of Ossining, NY shall be amended to add a hatch pattern to the area of the downtown as shown the proposed 270-15A.D Regulating Plan as Downtown and Croton Ave Overlay Districts Boundary.

In the legend of the Zoning Map add the words "Downtown and Croton Ave Overlay Districts" and a corresponding hatch pattern.